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On Thursday, March 12, 2026, at or before 6:00 p.m., agenda was posted at the front doors of City Hall, on the bulletin board in the lobby of City Hall, and on the City of Bethany website: [cityofbethany.org](http://cityofbethany.org). The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not the necessary accommodation.

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# AGENDA

## BETHANY CITY COUNCIL

**TUESDAY, MARCH 17, 2026**  
**6:30 P.M.**

**BETHANY CITY HALL**  
**6700 NW 36<sup>TH</sup> ST**  
**BETHANY, OKLAHOMA**



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With the exception of new business, official action can only occur on items which appear on the agenda. The Council may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item. When more information is needed to act on an item, Council may refer the matter to the City Manager or the Municipal Counselor. The Council may also refer items to standing committees of the Council or to a board or commission for additional study. Under certain circumstances, items may be deferred to a specific later date or stricken from the agenda entirely.

1. Call to Order
2. Invocation and Flag Salute
3. Consent Docket:
  - A. Approval of Minutes from the March 3, 2026, Regular Meeting.
  - B. Approval of Claims: These claims have been found to be in order by staff and proper as to form and procedure and are recommended for payment. A copy of the Claims List is included in the agenda packet.
  - C. Approval of Budget Amendment 26-16.
  - D. Approval of Budget Amendment 26-17.
4. **PUBLIC HEARING ITEM**: Consideration and possible action regarding Ordinance No. 2090, an ordinance amending the zoning ordinances, map, and comprehensive plan of the City of Bethany, Oklahoma, by including in Education-Institutional the properties located at around the Southern Nazarene University from R-1 (Single Family Residential), in Bethany, Oklahoma County, Oklahoma as more particularly described hereinafter. *(Ray Jones, City Attorney)*

- A. Presentation by staff and/or interested party.
  - B. Public comment.
  - C. Consideration and possible action to approve of Ordinance No. 2090, on reading by title only.
  - D. Motion to approve Section 1 of Ordinance No. 2090.
5. **PUBLIC HEARING ITEM**: Consideration and possible action regarding Ordinance No. 2091, an ordinance amending the zoning ordinances, map, and comprehensive plan of the City of Bethany, Oklahoma, by including in the PUD, Planned Unit Development District, the property described 2200 N Flamingo Ave from E-I (Educational Institutional) to PUD (Planned Unit Development) Bethany, Oklahoma County as more particularly described hereinafter. *(Ray Jones, City Attorney)*
- A. Presentation by staff and/or interested party.
  - B. Public comment.
  - C. Consideration and possible action to approve of Ordinance No. 2091, on reading by title only.
  - D. Motion to approve Section 1 of Ordinance No. 2091.
6. Consideration and possible action regarding a final plat request from Loyd Spaugy, Agent for owner Pelham Partners, LLC and Michael Love, Property Owner to subdivide 7.58 acres into 25 lots located NW of the intersection of N Rockwell Avenue and NW 36<sup>th</sup> Street and East Divis Avenue. *(Ray Jones, City Attorney)*
7. **PUBLIC HEARING ITEM**: FY 2026 Community Development Block Grant (CDBG) Waterline Improvements Grant. *(Elizabeth Gray, City Manager)*
- A. Motion to enter into public hearing.
  - B. Motion to close public hearing.
8. Consideration and possible action to adopt a Citizen's Participation Plan for FY 2026 CDBG Program. *(Elizabeth Gray, City Manager)*
9. Consideration and possible action to adopt Resolution No. 1729 to apply for FY 2026 CDBG Grant for Waterline Improvements Project. *(Elizabeth Gray, City Manager)*
10. Consideration and possible action to adopt Resolution No. 1730 on approval of Leveraged (matching) Funds by the City of Bethany in the FY 2026 grant application to Oklahoma Department of Commerce for Proposed Waterline Improvements Project. *(Elizabeth Gray, City Manager)*
11. Consideration and possible action to adopt Resolution No. 1731 approving Section 3 Plan for CDBG Proposed Waterline Improvements Project. *(Elizabeth Gray, City Manager)*

12. Consideration and possible action on adopting Residential Anti-Displacement Plan for FY-2026 CDBG Proposed Waterline Improvements Project. *(Elizabeth Gray, City Manager)*
13. Mayoral presentation of 2026 Fair Housing Proclamation.
14. Consideration and possible approval of adopting Resolution No. 1732 supporting the Federal Fair Housing Law. *(Elizabeth Gray, City Manager)*
15. Consideration and possible approval for Parkhill to prepare and submit the CDBG Application with intent to sign contract, if funded. *(Elizabeth Gray, City Manager)*
16. Mayoral Proclamation declaring April 2026 as Autism Awareness & Acceptance Month in the City of Bethany.
17. Public Comment - Any person wishing to address the Council during Public Comment shall give their name, address, and city of residence to the City Clerk for the records PRIOR to the start of the meeting. *(Per Chapter 30 of the Bethany Code of Ordinances, there is a five-minute limit, and no action or discussion shall take place. All remarks shall be addressed to the Council as a body, and not to any member thereof.)*
18. Consideration and possible approval to ratify emergency repair expenditures utilizing the Krapff-Reynolds Construction Co. on-call/emergency contract for Sewer Line Repair Services on NW 55<sup>th</sup> Street from Rockwell to Mueller in Bethany Oklahoma in the approximate amount of \$63,000.00. *(Elizabeth Gray, City Manager)*
19. Consideration and possible approval of contract with YMCA of Greater Oklahoma City-Bethany YMCA for operation of the municipal swimming pool for the 2026 season and authorize the mayor to sign the document on behalf of the City of Bethany. *(Elizabeth Gray, City Manager)*
20. **EXECUTIVE SESSION** pursuant to 25 O.S. Section 307(B)(4) for confidential communications between a public body and its attorney concerning a pending claim regarding 8300 NW 25th Street if the public body, with the advice of its attorney, determines that disclosure will seriously impair the ability of the public body to process the claim or conduct a pending investigation, litigation, or proceeding in the public interest.
  - A. Motion to enter into Executive Session.
  - B. Motion to exit from Executive Session.
21. New Business *(As defined by the Oklahoma Open Meeting Act § 311 (A) (9) as “matters not known about or which could not have reasonably been foreseen prior to the time of posting the agenda”).*
22. City Attorney’s Report.

23. City Manager's Report.
  - A. Financial Report.
24. Mayor and Council Members Comments and Suggestions.
25. Adjourn until April 7, 2026.

## **BETHANY PUBLIC WORKS AUTHORITY**

With the exception of new business, official action can only occur on items which appear on the agenda. The Council may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item. When more information is needed to act on an item, Council may refer the matter to the City Manager or the Municipal Counselor. The Council may also refer items to standing committees of the Council or to a board or commission for additional study. Under certain circumstances, items may be deferred to a specific later date or stricken from the agenda entirely.

1. Consent Docket:
  - A. Approval of Minutes from the March 3, 2026, Regular Meeting.
  - B. Approval of Claims: These claims have been found to be in order by staff and proper as to form and procedure and are recommended for payment. A copy of the Claims List is included in the agenda packet.
2. Consideration and possible action to adopt Resolution No. 1730 on approval of Leveraged (matching) Funds by the City of Bethany in the FY 2026 grant application to Oklahoma Department of Commerce for Proposed Waterline Improvements Project. *(Elizabeth Gray, City Manager)*
3. Consideration and possible approval to ratify emergency repair expenditures utilizing the Krapff-Reynolds Construction Co. on-call/emergency contract for Sewer Line Repair Services on NW 55<sup>th</sup> Street from Rockwell to Mueller in Bethany Oklahoma in the approximate amount of \$63,000.00. *(Elizabeth Gray, City Manager)*
4. New Business *(As defined by the Oklahoma Open Meeting Act § 311 (A) (9) as "matters not known about or which could not have reasonably been foreseen prior to the time of posting the agenda")*.
5. Adjourn until April 7, 2026.

## **BETHANY HOSPITAL TRUST**

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1. Consent Docket:
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  - B. Approval of Claims: These claims have been found to be in order by staff and proper as to form and procedure and are recommended for payment. A copy of the Claims List is included in the agenda packet.
2. New Business *(As defined by the Oklahoma Open Meeting Act § 311 (A) (9) as “matters not known about or which could not have reasonably been foreseen prior to the time of posting the agenda”).*
3. Adjourn until April 7, 2026.

## **BETHANY DEVELOPMENT AUTHORITY**

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  - B. Approval of Claims: These claims have been found to be in order by staff and proper as to form and procedure and are recommended for payment. A copy of the Claims List is included in the agenda packet.
2. New Business *(As defined by the Oklahoma Open Meeting Act § 311 (A) (9) as “matters not known about or which could not have reasonably been foreseen prior to the time of posting the agenda”).*
3. Adjourn until April 7, 2026.

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Public Participation Note: The City Council and Staff of the City of Bethany strongly encourages the input and involvement of the citizens to help ensure that the city government provides the highest level of services to meet the public needs and desires. If you have any concerns or comments about an agenda item, or any other issue, please contact the Mayor, your Ward Council Members or City Hall Staff. You may also contact the City Manager's office if you would like to have an item placed on a future agenda to address the Council as a whole. (Guidelines are available in the Council Chambers and in City Hall Lobby.)

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NOTICE: On Friday, February 27, 2026, at or before 4:59 p.m., agenda was posted at City Hall, on the bulletin board in the lobby of City Hall, and on the City of Bethany website: cityofbethany.org. The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not necessary accommodation.

## **BETHANY CITY COUNCIL MEETING**

### **BETHANY CITY HALL**

**TUESDAY, MARCH 3, 2026**

**6:30 P.M.**

<b>MEMBERS PRESENT:</b>	Amanda Sandoval Peter Plank Chris Powell Aja Triana Kathy Larsen Burt Falkner Ken Smart	Mayor Vice-Mayor Council Member Council Member Council Member Council Member Council Member
<b>MEMBERS ABSENT:</b>	Chandra Ford Brian Magirowsky	Council Member Council Member
<b>OTHERS PRESENT:</b>	Elizabeth Gray Michael Vaughn Lesa LaMar Frank Crawford Steve Manek Brett Crecelius (See Roster)	City Manager City Clerk/Treasurer Deputy City Clerk Crawford & Associates TEIM Design Engineer Community Development Dir.

#### **ITEM NO. 1** on the agenda **CALL TO ORDER.**

Mayor Sandoval called the Bethany City Council meeting to order at 6:30 P.M.

#### **ITEM NO. 2** on the agenda was **INVOCATION AND FLAG SALUTE.**

The Invocation was given by Vice-Mayor Plank.  
The Flag Salute was conducted by Council Member Smart.

#### **ITEM NO. 3** on the agenda was **CONSENT DOCKET:**

- A. APPROVAL OF MINUTES FROM THE FEBRUARY 17, 2026, REGULAR MEETING.**

- B. APPROVAL OF CLAIMS: THESE CLAIMS HAVE BEEN FOUND TO BE IN ORDER BY STAFF AND PROPER AS TO FORM AND PROCEDURE AND ARE RECOMMENDED FOR PAYMENT. A COPY OF THE CLAIMS LIST IS INCLUDED IN THE AGENDA PACKET.**
- C. APPROVAL OF BUDGET AMENDMENT 26-15.**

A motion was made by Vice-Mayor Plank, seconded by Council Member Smart to approve the consent docket. Yes votes: Plank, Falkner, Sandoval, Triana, Larsen, Smart, Powell. No votes: None. Motion approved.

**ITEM NO. 4 MAYORAL PROCLAMATION RECOGNIZING FEBRUARY 2026 AS BLACK HISTORY MONTH.**

The owners of Not Cho Cheesecake accepted the proclamation from Mayor Sandoval. See Exhibit A.

**ITEM NO. 5 MAYORAL CERTIFICATE OF APPRECIATIONS RECOGNIZING TRENT REID AND KEITH WRIGHT'S SERVICE ON THE PLANNING AND ZONING COMMISSION.**

Trent Reid was present to receive his certificate. Mr. Reid served on the Planning and Zoning from 2023-2025.

**ITEM NO. 6 PRESENTATION OF AWARD BY THE NORTHWEST OKC CHAMBER TO CITY MANAGER ELIZABETH GRAY.**

Chris Moroz presented the Civic Champion Award to City Manager Gray. The award, presented by the Northwest Oklahoma City Chamber, recognizes individuals for their significant contributions to the community.

**ITEM NO. 7 PUBLIC HEARING ITEM: CONSIDERATION AND POSSIBLE APPROVAL OF ORDINANCE NO. 2088, AN ORDINANCE AMENDING THE ZONING ORDINANCES, MAP, AND COMPREHENSIVE PLAN OF THE CITY OF BETHANY, OKLAHOMA, BY INCLUDING IN THE PUD, PLANNED UNIT DEVELOPMENT DISTRICT, THE PROPERTY DESCRIBED AS A TRACT OF LAND SITUATED WITHIN THE SOUTHEAST QUARTER (SE/4) OF SECTION TWENTY (20), TOWNSHIP TWELVE NORTH (T12N), RANGE FOUR WEST (R4W) OF THE INDIAN MERIDIAN (I.M), BETHANY, OKLAHOMA COUNTY REGARDING PROPERTY LOCATED 500 FEET WEST OF N ROCKWELL AVENUE ALONG NW 27TH STREET, AND PRELIMINARY PLAT REQUEST FROM WEST OAK BETHANY LP, APPLICANT AND CARLSON VENTURES, PROPERTY OWNER. (RAY JONES, CITY ATTORNEY)**

- A. PRESENTATION BY STAFF AND/OR INTERESTED PARTY.**

City Manager Gray reported this was a split vote by Planning and Zoning with 2 yes and 2 no votes.

**B. PUBLIC COMMENT.**

None.

**C. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ORDINANCE NO. 2088, ON READING BY TITLE ONLY.**

There was concern by Council Member Larsen about a fuel tank that was found on or near the property.

City Manager Gray and Community Development Brett Crecelius assured the council that all regulations by the state and International Fire code had been followed and exceeded on the blast zone for an oil tank battery. In addition, that is not within the scope of this development but on the site in which the battery tanks are held.

A motion was made by Vice-Mayor Plank, seconded by Council Member Smart to approve Ordinance No. 2088 on reading by title only. Yes votes: Plank, Falkner, Sandoval, Smart, Powell. No votes: Triana, Larsen. Motion approved.

**D. MOTION TO APPROVE SECTIONS 1-3 OF ORDINANCE NO. 2088.**

A motion was made by Vice-Mayor Plank, seconded by Council Member Smart to approve Sections 1-3 of Ordinance No. 2088. Yes votes: Powell Falkner, Sandoval, Plank, Smart. No votes: Triana, Larsen. Motion approved.

**E. MOTION TO APPROVE SECTION 4-5 OF ORDINANCE NO. 2088 (REASONS FOR DISAPPROVAL OR CONDITIONAL APPROVAL SHALL REFER SPECIFICALLY TO THOSE PARTS OF THE [COMPREHENSIVE] PLAN OR SPECIFIC REGULATIONS WITH WHICH THE PLAT DOES NOT CONFORM. ON CONDITIONALLY APPROVING A PLAT, THE CITY COUNCIL MAY REQUIRE SUBMISSION OF A REVISED PRELIMINARY PLAT) SECTION 154.27 (D)(2).**

A motion was made by Council Member Smart, seconded by Vice-Mayor Plank to approve Section 4-5 of Ordinance No. 2088. Yes votes: Sandoval, Smart, Falkner, Powell, Plank. Abstain: Larsen. No votes: Triana. Motion approved.

**ITEM NO. 8** on the agenda **PRESENTATION OF FISCAL YEAR 2024 FINANCIAL STATEMENTS BY CRAWFORD AND ASSOCIATES. (MICHAEL VAUGHN, FINANCE DIRECTOR)**

Frank Crawford with Crawford and Associates presented a clear opinion for the financial audit. Mr. Crawford presented a slideshow presentation of the Performer Health of the city. He explained that the Performer uses a variety of financial ratios along with an analysis methodology to help assess a government's fiscal performance over a period of time and its ability to continue to serve its constituency at current service levels. This report provides users with a clear picture on the government's financial health, how it has changed and how it looks in the future. That slideshow is included as Exhibit "B".

**ITEM NO. 9** on the agenda was **PRELIMINARY FY2027 BUDGET PRESENTATION BY MICHAEL VAUGHN, FINANCE DIRECTOR. (ELIZABETH GRAY, CITY MANAGER)**

Finance Director Michael Gray presented the preliminary budget. He explained that many of the capital expenses had not been added to the budget yet. The preliminary budget is included in the agenda packet.

**ITEM NO. 10** on the agenda was **CITYWIDE PUBLIC WORKS PROJECTS UPDATE BY TEIM DESIGN. (ELIZABETH GRAY, CITY MANAGER)**

Steve Manek with TEIM Design presented a slideshow of the projects completed and the progress of those in progress. This slideshow is included in the agenda.

**ITEM NO. 11** on the agenda was **PUBLIC COMMENT - ANY PERSON WISHING TO ADDRESS THE COUNCIL DURING PUBLIC COMMENT SHALL GIVE THEIR NAME, PRIOR TO THE START OF THE MEETING. (PER CHAPTER 30 OF THE BETHANY CODE OF ORDINANCES, THERE IS A FIVE-MINUTE LIMIT, AND NO ACTION OR DISCUSSION SHALL TAKE PLACE. ALL REMARKS SHALL BE . TO THE COUNCIL AS A BODY, AND NOT TO ANY MEMBER THEREOF.)**

None.

**ITEM NO. 12** on the agenda was **CONSIDERATION AND POSSIBLE APPROVAL OF PROPOSED ORDINANCE NO. 2089, AN ORDINANCE AMENDING THE EMPLOYEE RETIREMENT SYSTEM, DEFINED BENEFIT PLAN FOR THE CITY OF BETHANY, OKLAHOMA; PROVIDING RETIREMENT BENEFITS FOR ELIGIBLE EMPLOYEES OF THE CITY OF BETHANY, OKLAHOMA; PROVIDING FOR VESTING SCHEDULE; PROVIDING FOR EMPLOYER PICKUP OF MANDATORY CONTRIBUTIONS; PROVIDING FOR REPEALER AND SEVERABILITY. (MICHAEL VAUGHN, FINANCE DIRECTOR)**

**A. PRESENTATION BY STAFF AND/OR INTERESTED PARTY.**

City Manager Gray informed that the retirement program was a tool for employee retention and adjustments were needed to better retain some of our newer employees.

An actuarial study was conducted by Dean Actuaries to determine the effect of shortening the vesting period of Bethany's current plan from 10 to 7 years. The study determined that the new combined rate (City contribution plus Employee Contribution) for the 7-year vesting period would be 12.39% of employees' salary. Currently, the city contributes 8.39% of salary and the employees contribute 6% of salary for a combined contribution of 14.39%. This amount was determined in prior years and when combined with good investment returns has created a surplus in the fund that will cover this change. The overall 2% decrease in the city's contribution rate will provide the city cost savings, while at the same time provide a shorter vesting period for city employees.

**B. CONSIDERATION AND POSSIBLE ACTION TO APPROVE ORDINANCE NO. 2089, ON READING BY TITLE ONLY.**

A motion was made by Council Member Larsen, seconded by Council Member Triana to approve Ordinance No. 2089 on reading by title only. Yes votes: Larsen, Smart, Powell, Plank, Falkner, Sandoval, Triana. No votes: None. Motion approved.

**C. MOTION TO APPROVE SECTIONS 1-5 OF ORDINANCE NO. 2089.**

A motion was made by Council Member Smart, seconded by Vice-Mayor Plank to approve Section 1-5 of Ordinance No. 2089. Yes votes: Sandoval, Plank, Powell, Smart, Falkner, Triana, Larsen. No votes: None. Motion approved.

**ITEM NO. 13** on the agenda was **NEW BUSINESS (AS DEFINED BY THE OKLAHOMA OPEN MEETING ACT § 311 (A) (9) AS "MATTERS NOT KNOWN ABOUT OR WHICH COULD NOT HAVE REASONABLY BEEN FORESEEN PRIOR TO THE TIME OF POSTING THE AGENDA")**.

None.

**ITEM NO. 14** on the agenda was the **CITY ATTORNEY'S REPORT**.

None.

**ITEM NO. 15** on the agenda was the **CITY MANAGER'S REPORT**.

City Manager Gray provided updates regarding recent and upcoming events and projects.

**ITEM NO. 16** on the agenda was **COUNCIL MEMBERS' ANNOUNCEMENTS, COMMENTS, AND PROPOSALS.**

Each council member was given the opportunity to comment.

**ITEM NO. 17** on the agenda was **ADJOURN UNTIL MARCH 17, 2026.**

Mayor Sandoval adjourned the Bethany City Council meeting at 8:09 P.M. until March 17, 2026.

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CITYCLERK

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MAYOR

# City of Bethany

## Proclamation

### Office

## of the Mayor

**WHEREAS**, Black History Month is celebrated nationally every February to recognize and honor the lives, accomplishments, and perseverance of Black Americans; and

**WHEREAS**, the origins of Black History Month date back to 1915 when Dr. Carter G. Woodson founded the organization known today as the Association for the Study of African American Life and History; and

**WHEREAS**, in 1926 the same association chose the second week of February, to coincide with the birthdays of Frederick Douglass and President Abraham Lincoln, as an appropriate time to sponsor a national recognition of Black history, which has now expanded to a monthlong recognition; and

**WHEREAS**, observing Black History Month provides the opportunity for reflection and to gain a deeper understanding of Black American history, including the centuries of struggle for equality and freedom; and

**WHEREAS**, Black History Month also celebrates the achievements and contributions that Black Americans have made in shaping our country, society, and communities; and

**WHEREAS**, the City of Bethany has made a commitment to establishing and maintaining a welcoming, inclusive, and just city for all.

**NOW, THEREFORE, I**, Amanda Sandoval, Mayor of Bethany, Oklahoma, do hereby recognize the month of **February 2026** as

### “BLACK HISTORY MONTH”

in the City of Bethany, Oklahoma and encourage all residents to observe this month with appropriate reflection and to continue our efforts in ensuring that Bethany is a just, welcoming community.

*Given under my hand and the Seal of the City of Bethany, Oklahoma  
this 3<sup>rd</sup> day of March, 2026.*

  
\_\_\_\_\_  
Mayor

**Attest:**

  
\_\_\_\_\_  
City Clerk





PERFORMETER.

*CITY OF BETHANY*

*FISCAL YEAR 2024*

A Financial Statement Analysis Tool Using Indicators of Financial  
Health and Success



## *WHAT IS THE PERFORMETER®?*

- An analysis that takes a government's financial statements and converts them into useful and understandable measures of financial performance
- Financial ratios and a copyrighted analysis methodology are used to arrive at ratings from 0-10.
- The overall rating is a barometer of the entity's financial health and performance.

## *HOW TO USE THE PERFORMETER®*

- Use the individual ratios to identify financial warning signals.
- Use the overall rating as a collective benchmark of financial health and success of the entity as a whole.
- Use the comparisons to prior years to monitor trends in financial indicators.

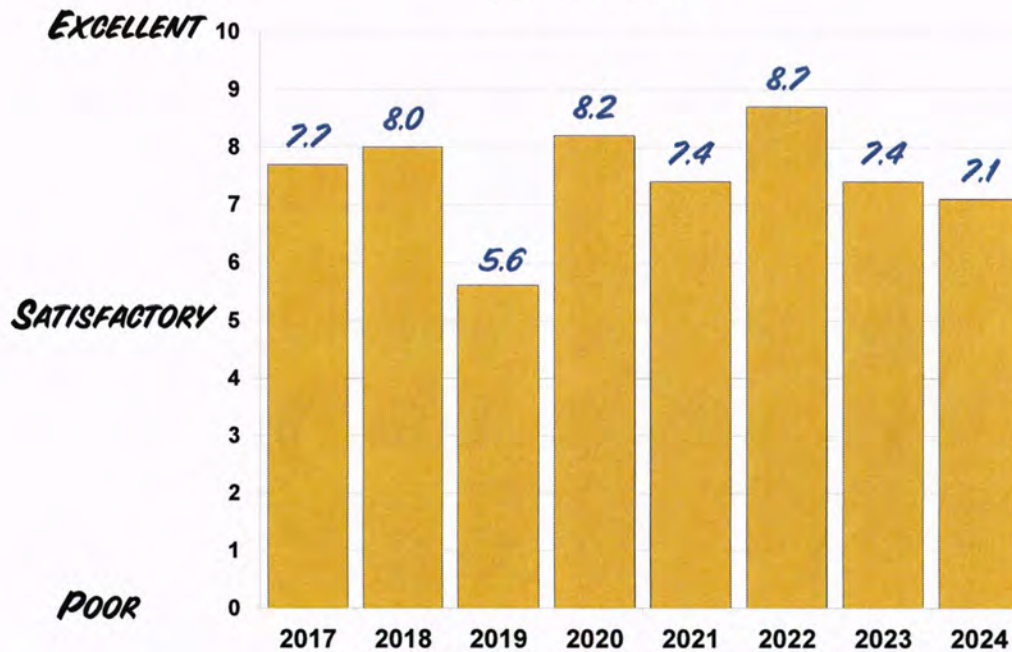
## ***LIMITATIONS OF THE PERFORMETER®***

- The Performer® should not be used as the only source of financial information to evaluate the entity's performance and condition.
- The analysis is an overall rating of the entity as a whole and not of specific activities, funds, or units.
- The Performer® is based on Crawford & Associates' professional judgment and is limited as to its intended use

# PERFORMETER® RATING

## WHAT IS THE STATE OF OUR OVERALL FINANCIAL HEALTH?

OVERALL RATING



For the 2024 fiscal year, the ratings by ratio category were as follows:

Financial Position	6.2
Financial Performance	9.2
Financial Capability	<u>5.0</u>
<b>Overall Rating</b>	<b>7.1</b>

The strongest component of the overall rating is the City's financial performance, while the City's financial position and capability were satisfactory. The 2024 overall rating of 7.1 indicates the evaluator's opinion that the City of Bethany's overall financial health declined slightly when compared to the prior period but remains well above satisfactory. The decline is due primarily to a lowering of the financial capability score which was the result of an increase in property taxes per capita. .

FY 24 OVERALL PERFORMETER® RATING: **7.1**

# *FINANCIAL POSITION RATINGS*

- This set of ratings illustrates “point-in-time” measures of the entity’s financial status, solvency, and liquidity as of the date of its most recent annual financial statements.



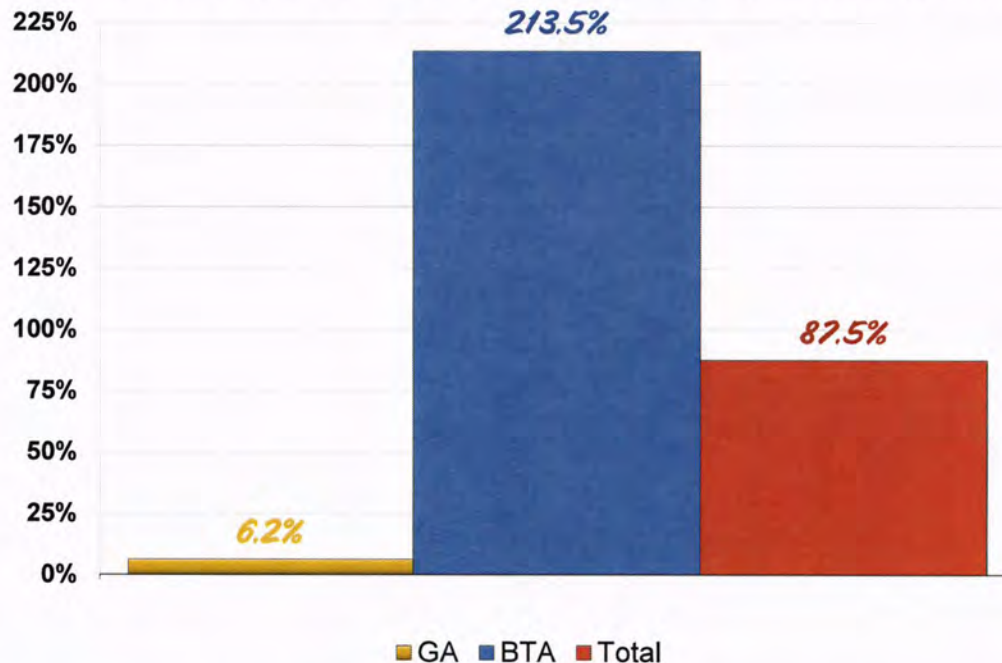
# *FINANCIAL POSITION RATINGS*

Unrestricted Net Position	How do our total rainy day funds look?
General Fund Unassigned Fund Balance	How does our General Fund unassigned fund balance carryover position look?
Capital Asset Condition	How much life do we still have left in our capital assets?
Non-Uniformed Employee Pension Plan Funding	Will our non-uniformed employees be happy with us when they retire?
OPEB Plan Funding	Will we be able to pay for retiree healthcare when they retire?
Debt to Assets	Who really owns the City?
Current Ratio	Will our employees and vendors be pleased with our ability to pay them on time?
Quick Ratio	How is our short-term cash position?

# LEVEL OF UNRESTRICTED NET POSITION

## HOW DO OUR TOTAL RAINY DAY FUNDS LOOK?

UNRESTRICTED NET POSITION (DEFICIT) AS A % OF ANNUAL REVENUES



The level of total unrestricted net position is an indication of the amount of unexpended and available resources the City has in all funds combined at a point in time to fund emergencies, shortfalls or other unexpected needs. In our model, 50% is considered excellent, while 30% is considered a desired minimum.

For the year ended June 30, 2024, the City's total unrestricted net position was approximately \$25.9 million, equivalent to 87.5% of annual total revenues. This is well above the 50% level that our model considers excellent and is an improvement over the prior year's already strong position. The low unrestricted net position of the Governmental Activities is due to the inclusion of the City's share of unfunded State Firefighters Pension system.

2017	2018	2019	2020	2021	2022	2023	2024
51.4%	42.4%	29.6%	45.0%	54.1%	60.3%	61.7%	87.5%

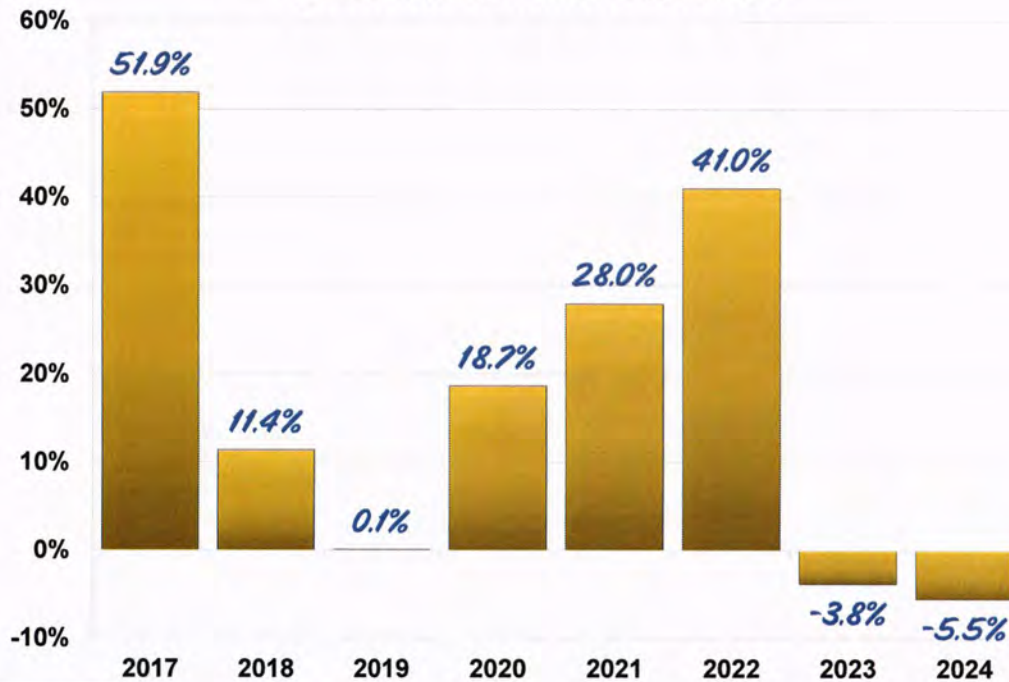
PERFORMETER®  
RATING

10

# GF UNASSIGNED FUND BALANCE

## HOW DOES OUR CARRYOVER LOOK?

UNASSIGNED FUND BALANCE (DEFICIT) AS A PERCENTAGE OF ANNUAL REVENUES



The level of general fund unassigned fund balance is an indication of the amount of unexpended, unencumbered and available resources the City has at a point in time to carryover into the next fiscal year to fund budgetary emergencies, shortfalls or other unexpected needs. In our model, 10% is considered a minimum responsible level, while 30% is considered desirable.

For the year ended June 30, 2024, the City's unassigned fund balance of the General Fund, along with any deficit unassigned fund balance in any other governmental fund, amounted to approximately \$645,000 deficit or -5.5% of annual General Fund revenues. This represents a slight decline when compared to the prior year and is considered an unfavorable score. However, the City does have just over \$3.0 million in an assigned stabilization category that could be used to offset this deficit unassigned fund balance. If we include that in this ratio, the ratio would rise to 20.2%.

2017	2018	2019	2020	2021	2022	2023	2024
51.9%	11.4%	0.1%	18.7%	28.0%	41.0%	-3.8%	-5.5%

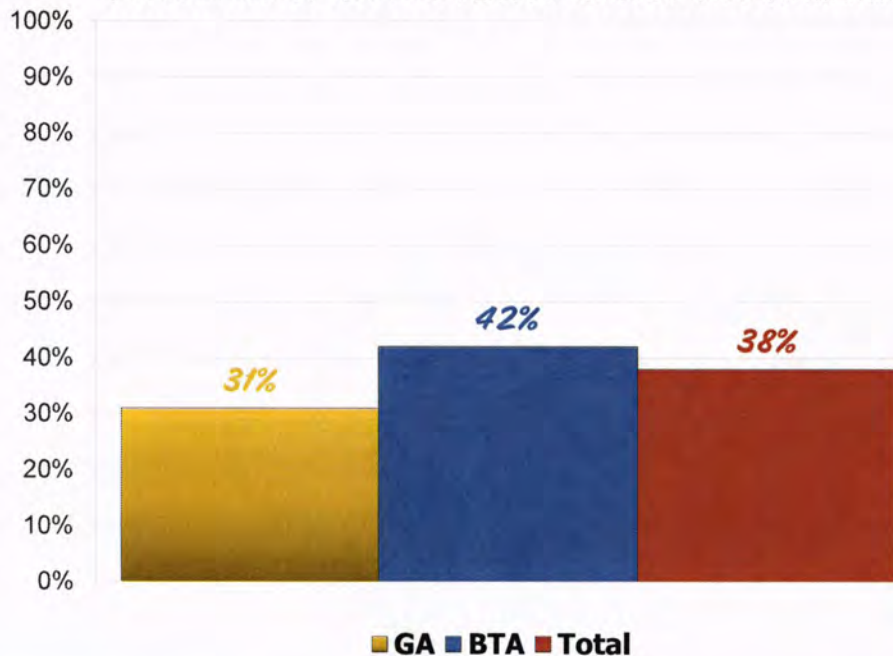
PERFORMETER®  
RATING

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# CAPITAL ASSET CONDITION

*HOW MUCH USEFUL LIFE DO WE HAVE LEFT IN OUR CAPITAL ASSETS?*

*PERCENTAGE OF CAPITAL ASSETS' USEFUL LIFE REMAINING*



The capital asset condition ratio compares depreciable capital assets at cost to accumulated depreciation to determine the overall percentage of useful life remaining. A low percentage could indicate an upcoming need to replace a significant amount of capital assets. For comparison purposes, we have removed the consideration of the cost of land and current construction-in-progress.

At June 30, 2024, the City's depreciable capital assets amounted to \$90.2 million while accumulated depreciation totaled \$56.2 million. This indicates that, on average, the City's depreciable capital assets have a little more than one-third (38%) of their useful lives remaining. This is a below satisfactory financial indicator in our model, and the ratio has decreased slightly when compared to the prior year.

2017	2018	2019	2020	2021	2022	2023	2024
43%	42%	41%	46%	43%	42%	39%	38%

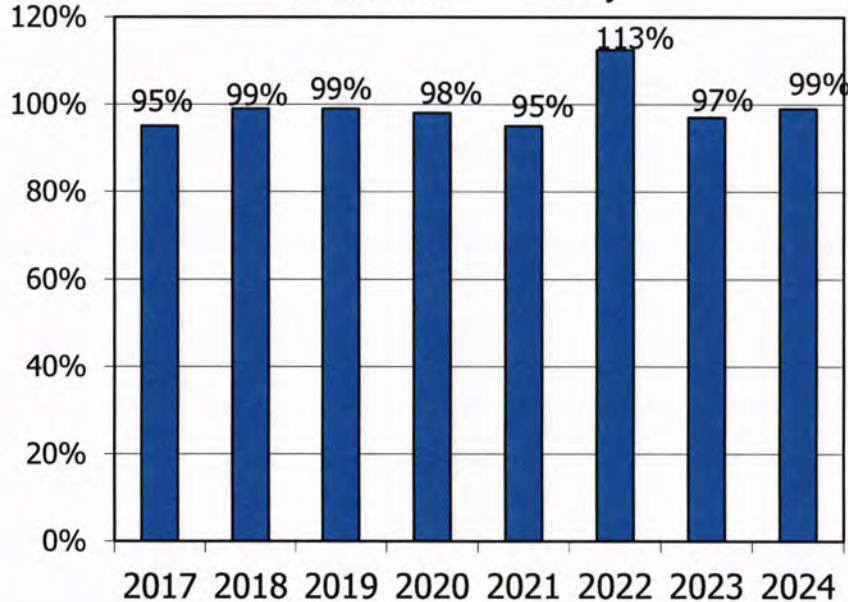
**PERFORMETER®  
RATING**

**2.5**

# NON-UNIFORMED EMPLOYEE PENSION PLAN FUNDING RATIO

*WILL WE BE ABLE TO PAY OUR NON-UNIFORMED EMPLOYEES WHEN THEY RETIRE?*

Pension Plan Net Position as a Percentage of Total Pension Liability



The pension funding ratio compares the actuarial fair value of the pension plan's net position to the total pension liability for pension benefits. A percentage less than 100% indicates the plan is underfunded at the valuation date.

At June 30, 2024, the City's pension plan net position was 99% of the total pension liability, indicating the plan was almost fully-funded, from an actuarial perspective, at the last valuation date. In addition, the funded ratio is an improvement when compared with the ratio of the prior period. This ratio is based on GASB pension accounting standards implemented first in FY 2015, using an actuarial accounting perspective with a one-year look-back period rather than a funding perspective applied from previous GASB standards.

2017	2018	2019	2020	2021	2022	2023	2024
95%	99%	99%	98%	95%	112.5%	97%	99%

**PERFORMETER®  
RATING**

**6.8**

# OPEB PLAN FUNDING RATIO

*WILL WE BE ABLE TO PAY FOR RETIREE HEALTH CARE IN THE FUTURE?*

**PERCENTAGE OF TOTAL OPEB LIABILITY THAT IS ADVANCE FUNDED**



The OPEB funding ratio compares the actuarial value of any retiree healthcare plan assets set aside in trusts for future benefits with the actuarial accrued liability for plan benefits. An “actuarial fully advance funded” plan would reflect a funding percentage of 100%. Whereas a “pay-as-you-go” funding strategy for the OPEB benefits plan would report a funding percentage of 0%. The City has adopted a pay-as-you-go funding strategy for the OPEB benefits.

Certain future retiree post employment healthcare costs must be recognized while the employee is providing service. The City has adopted a pay-as-you-go plan. As a result, there is no plan net position to offset the total OPEB liability of approximately \$1.4 million. The ability to pay for these future benefits will be dependent on future resources and appropriations.

2017	2018	2019	2020	2021	2022	2023	2024
0%	0%	0%	0%	0%	0%	0%	0%

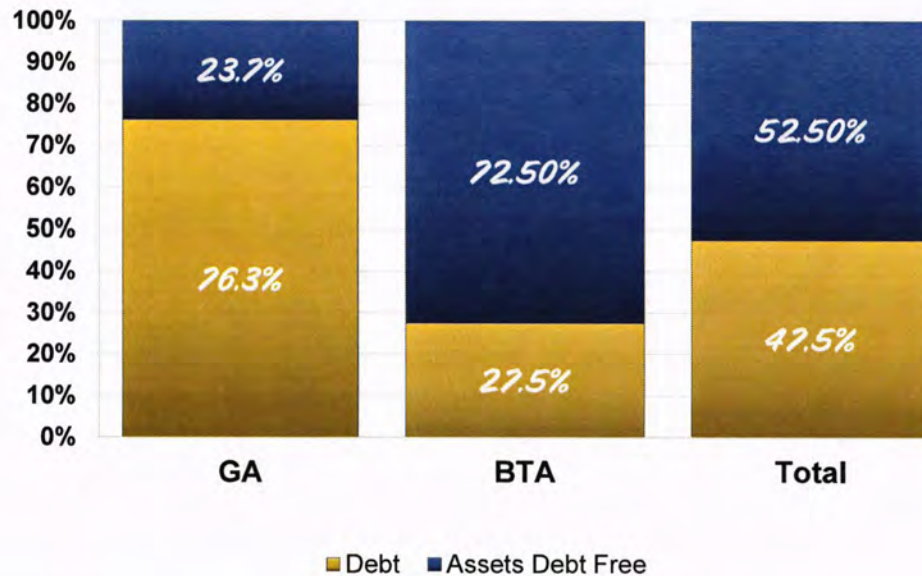
**PERFORMETER®  
RATING**

**0.0**

# DEBT TO ASSETS

## WHO REALLY OWNS THE CITY'S ASSETS?

PERCENTAGE OF DEBT TO ASSETS



The debt to assets ratio measures the extent to which the City had funded its assets with debt. The lower the debt percentage, the more equity the City has in its assets.

At June 30, 2024, about 48% of the City's \$112.8 million of total assets were funded with debt or other obligations, leaving 52% as equity. This indicates that for each dollar of assets owned, the City owes about 48 cents of that dollar to others. This is considered to be an above satisfactory ratio but has declined slightly from last year's ratio.

2017	2018	2019	2020	2021	2022	2023	2024
49%	55%	56%	59%	59%	73%	54%	52%

PERFORMETER®  
RATING

5.3

# CURRENT RATIO

*WILL OUR VENDORS AND EMPLOYEES BE PLEASED WITH OUR ABILITY TO PAY THEM ON TIME?*

**CURRENT ASSETS COMPARED TO CURRENT LIABILITIES  
(IN THOUSANDS)**



The current ratio is one measure of the City's ability to pay its short-term obligations. The current ratio compares total current assets and current liabilities. A current ratio of 2.0 indicates a satisfactory current liquidity and an ability to meet the short-term obligations.

At June 30, 2024, the City had a government-wide ratio of current assets to current liabilities of 6.7. This indicates that the City had almost seven times the current assets needed to pay its current liabilities. This is considered an excellent indicator of liquidity even though it was a decrease when compared to the ratio of the prior period.

2017	2018	2019	2020	2021	2022	2023	2024
8.38	6.30	4.13	5.5	7.6	5.1	7.4	6.7

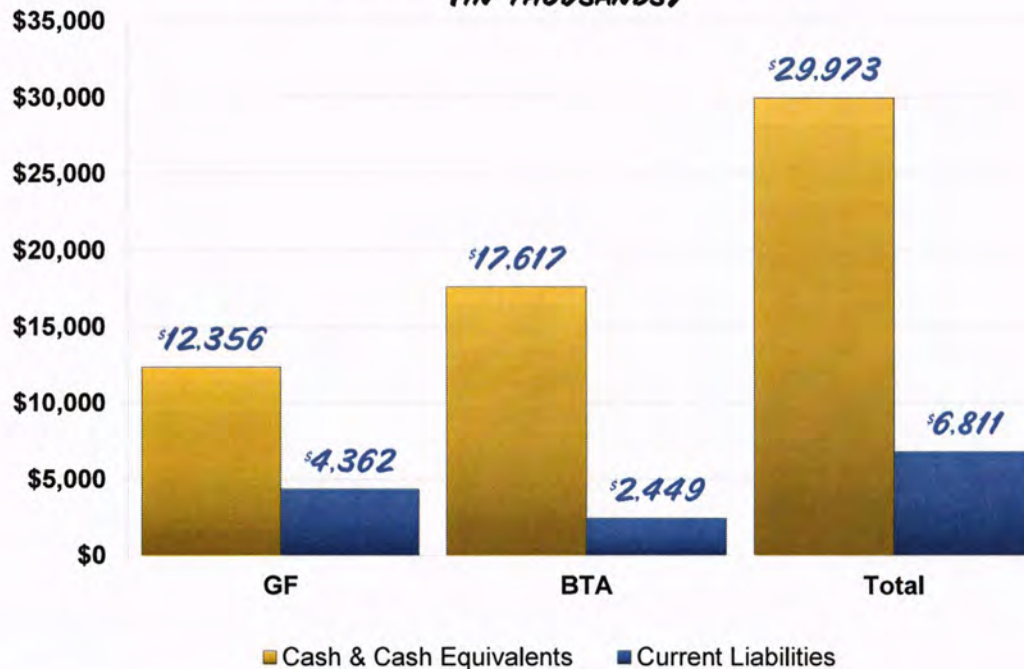
**PERFORMETER®  
RATING**

**10**

# QUICK RATIO

## HOW IS OUR SHORT-TERM CASH POSITION?

**CASH AND CASH EQUIVALENTS  
COMPARED TO CURRENT LIABILITIES  
(IN THOUSANDS)**



The quick ratio is a more conservative measure of the City's ability to pay its short-term operating obligations. The quick ratio compares total unrestricted cash and cash equivalents to current liabilities. A quick ratio of 1.0 indicates adequate liquidity and an ability to meet short-term obligations with cash on hand.

At June 30, 2024, the City had a government-wide ratio of unrestricted cash and cash equivalents to current liabilities of 4.40. This indicates that the City had over four times the unrestricted cash and cash equivalents needed to pay its short-term operating obligations at year-end. This ratio is at an excellent level and is an increase from the ratio of the prior fiscal year.

2017	2018	2019	2020	2021	2022	2023	2024
2.77	3.77	2.56	3.68	5.61	5.42	4.09	4.40

**PERFORMETER®  
RATING**

**10**

# FINANCIAL POSITION RATINGS

## SUMMARY AND COMPARISON TO PRIOR YEARS

Ratio	FY 2018	FY 2019	FY 2020	FY 2021	FY 2022	FY 2023	FY 2024
Unrestricted Net Position	42.4%	29.6%	45%	54.1%	60.3%	61.7%	87.5%
General Fund Unassigned Fund Balance	11.4%	0.1%	18.7%	28.0%	41%	-3.8%	-5.5%
Capital Asset Condition	42%	41%	46%	43%	42%	39%	38%
Non-Uniformed Pension Plan Funding	99%	99%	98%	95%	112%	97%	99%
OPEB Plan Funding	0%	0%	0%	0%	0%	0%	0%
Debt to Assets	55%	56%	59%	59%	73%	54%	53%
Current Ratio	6.30	4.13	5.52	7.62	5.1	7.36	6.74
Quick Ratio	3.77	2.56	3.68	5.61	5.42	4.09	4.40
Financial Position Rating	7.1	5.9	7.5	7.8	8.4	6.2	6.2

# *FINANCIAL PERFORMANCE RATINGS*

- This set of ratings illustrates “look-back” measures that reveal whether the entity’s financial position has been improving, deteriorating, or remaining constant.



# *FINANCIAL PERFORMANCE RATING*

<b>Change in Net Position</b>	Did our overall financial condition improve, decline, or remain steady from the past year?
<b>Interperiod Equity</b>	Who paid for the costs of current year services – current, past, or future tax and rate payers?
<b>BTA Self-Sufficiency</b>	Did current year business-type activities, such as utilities, pay for themselves?
<b>Debt Service Coverage</b>	Were our revenue bond and note investors pleased with our ability to pay them on time?
<b>Sales Tax Growth</b>	What is the state of our local economy?

# CHANGE IN NET POSITION

*DID OUR OVERALL FINANCIAL CONDITION IMPROVE, DECLINE OR REMAIN STEADY OVER THE PAST YEAR?*

*NET POSITION AT YEAR END  
(IN MILLIONS)*



Net position is measured as the difference between total assets plus deferred outflows, including capital assets, and total liabilities plus deferred inflows, including long-term debt. Net position increases as a result of earning more revenue than expenses incurred in the fiscal year.

For the year ended June 30, 2024, total net position increased by approximately \$7.6 million, or 15.7% from the prior year beginning net position. The City's change in net position is at an exceptional level and continues a positive trend in the past five years.

2017	2018	2019	2020	2021	2022	2023	2024
+5.8%	+6.4%	-1.9%	+7.7%	+4.6%	+15.7%	+3.6%	+15.7%

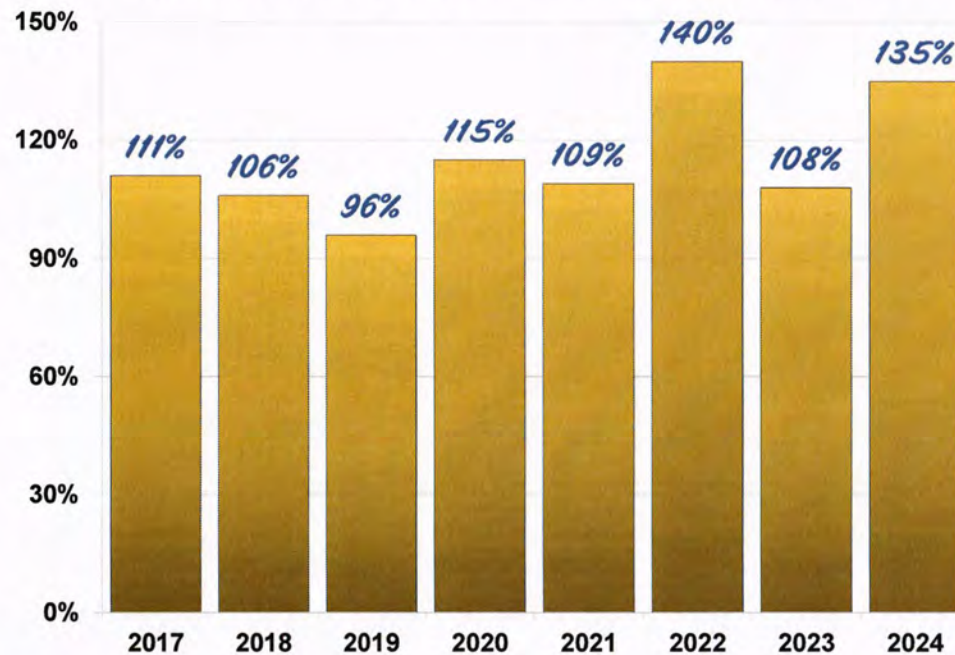
**PERFORMETER®  
RATING**

**10**

# INTERPERIOD EQUITY

## WHO IS PAYING FOR TODAY'S COSTS OF SERVICES?

REVENUES AS A PERCENTAGE OF ANNUAL EXPENSES



Interperiod equity is achieved when the cost of current services are paid by current year taxes and rate payers. When current year costs are subsidized by prior year resources or debt proceeds, interperiod equity was not achieved, and either past or future taxes and rate payers helped fund the costs of these services.

For the year ended June 30, 2024, the City's total costs were more than fully funded by current year taxes and rate payers, with current year revenues, excluding fund balance carryovers, generating revenues at a level of about 135% of current year costs.

2017	2018	2019	2020	2021	2022	2023	2024
111%	106%	96%	115%	109%	140%	108%	135%

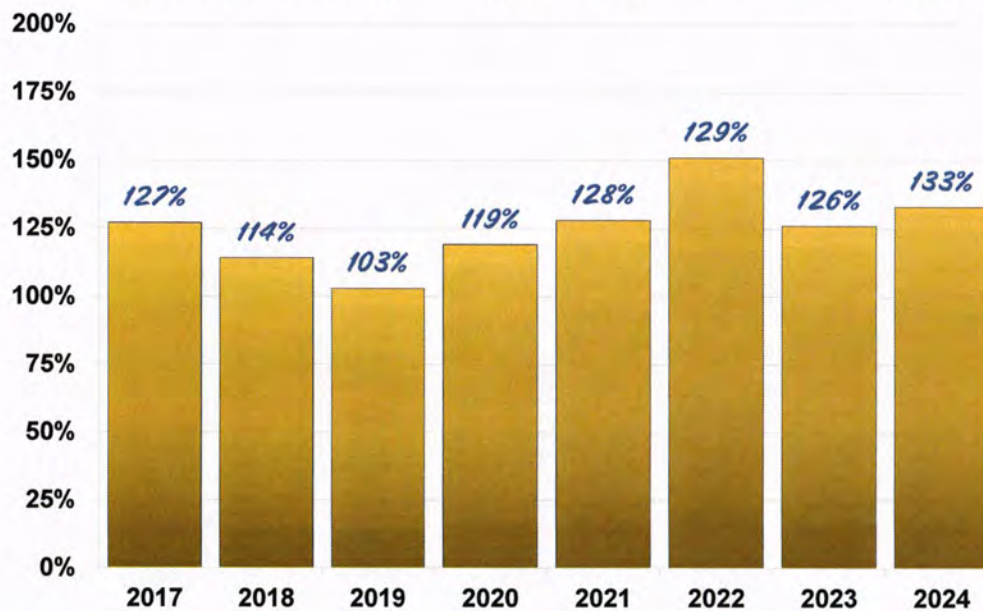
PERFORMETER®  
RATING

10

# BTA SELF-SUFFICIENCY

*DID CURRENT YEAR BUSINESS-TYPE ACTIVITIES (BTA) PAY FOR THEMSELVES?*

*PERCENTAGE OF BTA EXPENSES COVERED BY BTA REVENUES*



The self-sufficiency ratio indicates the level at which business-type activities (utilities) covered their current costs with current year revenues, without having to rely on subsidies or use of prior year reserves.

For the year ended June 30, 2024, the City's business-type activities were 133% self-sufficient. This indicates that current year costs of the City's business-type activities were more than fully funded by current year operating revenues. The City's business-type activities have consistently covered its annual costs over the past several years.

2017	2018	2019	2020	2021	2022	2023	2024
127%	114%	103%	119%	128%	151%	126%	133%

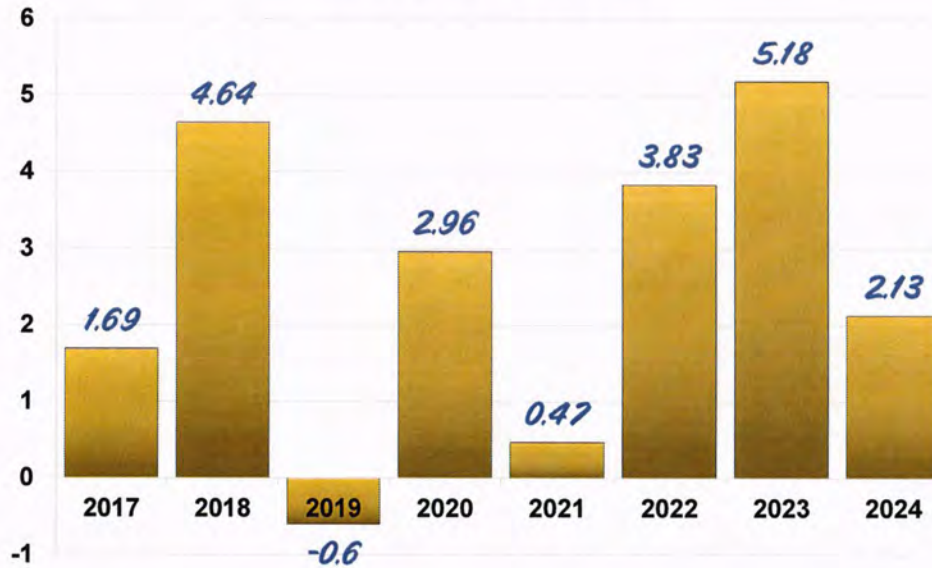
**PERFORMETER®  
RATING**

**10**

# DEBT SERVICE COVERAGE

*WERE OUR REVENUE BOND INVESTORS PLEASED WITH OUR ABILITY TO PAY THEM ON TIME?*

*NUMBER OF TIMES NET PLEDGED REVENUES COVER ANNUAL DEBT SERVICE*



The debt service coverage ratio compares the City's debt service requirements on revenue bonds to the net operating cash generated by the revenue streams pledged for payment. A debt service ratio of greater than 1.00 indicates a sufficient ability to make the debt service payments from net revenues from operations.

For the year ended June 30, 2024, the City had an excellent debt service coverage ratio of 2.13. This indicates the City generated more than enough cash necessary to pay the debt service requirements on its revenue bonds and notes.

2017	2018	2019	2020	2021	2022	2023	2024
1.69	4.64	-0.60	2.96	0.47	3.83	5.18	2.13

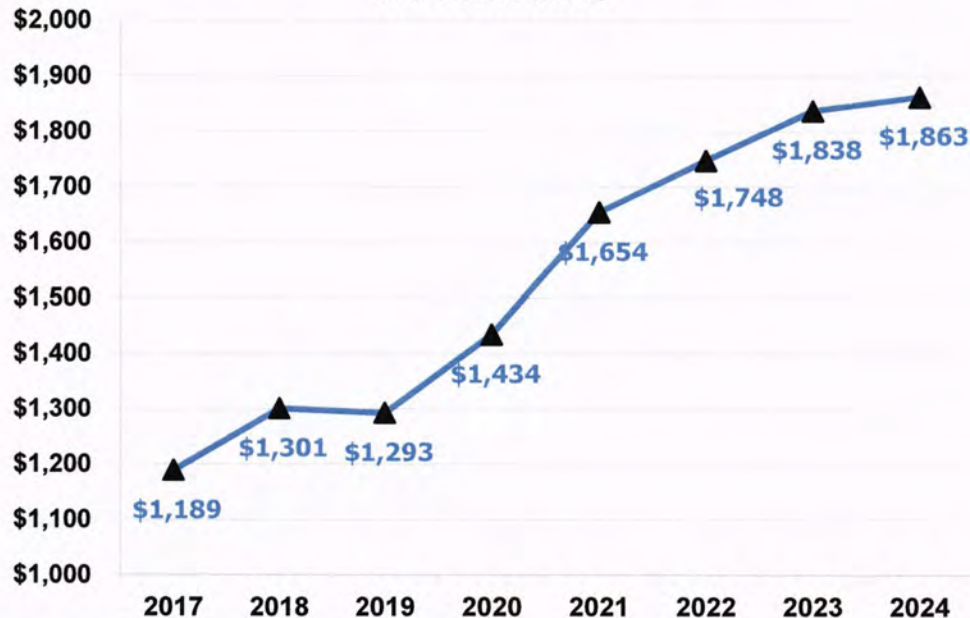
**PERFORMETER®  
RATING**

**10**

# SALES TAX GROWTH

## WHAT IS THE STATE OF OUR LOCAL ECONOMY?

*SALES AND USE TAX REVENUE PER ONE CENT  
(IN THOUSANDS)*



Due to the inability of Oklahoma municipalities to levy a property tax for operations, the City is highly dependent on sales and use tax revenues to fund its general governmental activities. Sales tax growth measures the state of the local economy by comparing the annual sales and use tax revenues collected to the prior year.

For the year ended June 30, 2024, the City experienced a total increase of \$100 thousand in sales and use tax collections or a total of 1.4% from the prior year. The sales tax rate of 4.0% was in effect for the entire year.

2017	2018	2019	2020	2021	2022	2023	2024
-0.8%	+9.5%	-0.6%	+10.9%	+15.3%	+5.7%	+5.2%	+1.4%

**PERFORMETER®  
RATING**

**6.4**

# FINANCIAL PERFORMANCE RATINGS

## SUMMARY AND COMPARISON TO PRIOR YEARS

Ratio	FY 2018	FY 2019	FY 2020	FY 2021	FY 2022	FY 2023	FY 2024
Change in Net Position	6.4%	-1.9%	+7.7%	+4.6%	+15.7%	+3.6%	+15.7%
Interperiod Equity	106%	96%	115%	109%	140%	108%	135%
BTA Self Sufficiency	114%	103%	119%	128%	151%	126%	133%
Debt Service Coverage	4.64	-0.60	2.96	0.47	3.83	5.2	2.13
Sales Tax Growth	9.5%	-0.6%	10.9%	15.3%	5.7%	5.2%	1.4%
Financial Performance Rating	<b>9.6</b>	<b>4.6</b>	<b>9.8</b>	<b>7.3</b>	<b>10</b>	<b>9.3</b>	<b>9.2</b>

# *FINANCIAL CAPABILITY SCORES*

- This set of scores illustrates “forward-looking” measures of the government’s ability to obtain resources in the form of revenues or borrowings in order to finance the services its constituency requires.



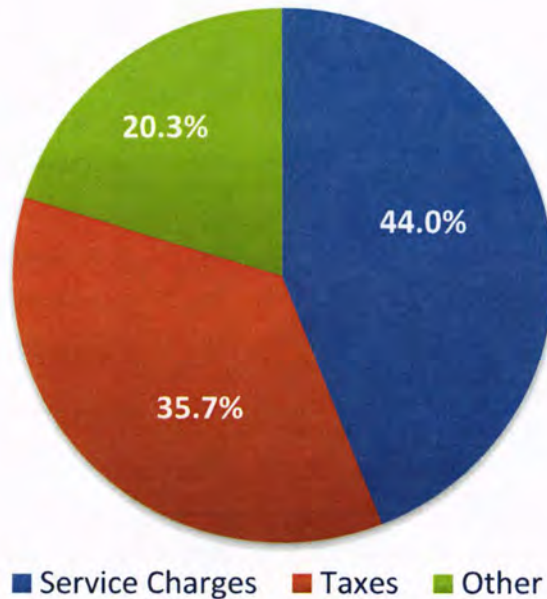
# *FINANCIAL CAPABILITY RATINGS*

Revenue Dispersion	How much of our revenue is beyond our direct control?
Debt Service Load	How heavily is our budget loaded with payments to retire long-term debt?
Bonded Debt Per Capita	What is the debt burden on our property tax payers?
Legal Debt Limit Remaining	Will we be legally able to issue more long-term debt if needed?
Property Taxes Per Capita	Will our citizens be willing to approve property tax increases if needed?
Local Sales Tax Rate	Will our citizens be willing to approve sales tax increases if needed?

# REVENUE DISPERSION

*HOW HEAVILY ARE WE RELYING ON REVENUE SOURCES BEYOND OUR DIRECT CONTROL?*

**2024 REVENUE PERCENTAGES BY SOURCE**



The revenue dispersion percentage indicates how dependent the City is on certain types of revenue. The more dependent the City is on sources beyond its direct control, such as taxes requiring voter approval or grant revenues from other governments, the less favorable the dispersion.

For the year ended June 30, 2024, the City had direct control over about 44% of its revenues, in the form of service charges. This ratio indicates the City has significant exposure to financial difficulties due to the overreliance on taxes that require voter approval, grants, contributions, and other revenues of about 56%.

2017	2018	2019	2020	2021	2022	2023	2024
39%	47%	48%	56%	49%	49%	48%	56%

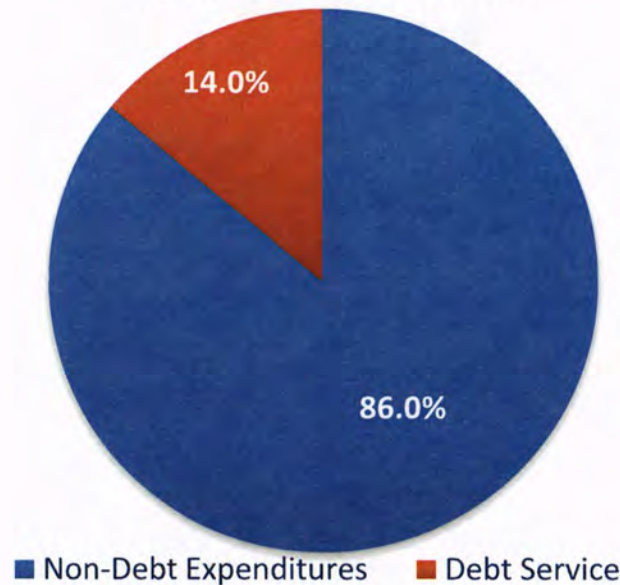
**PERFORMETER®  
RATING**

**4.2**

# DEBT SERVICE LOAD

*HOW MUCH OF OUR ANNUAL NON-CAPITAL BUDGET IS LOADED WITH DISBURSEMENTS TO PAY OFF LONG-TERM DEBT?*

*PERCENTAGE OF DEBT SERVICE AND NON-DEBT EXPENDITURES*



The debt service load ratio measures the extent to which City-wide non-capital expenditures were comprised of debt service payments on long-term obligations.

For the year ended June 30, 2024, the City's total non-capital expenditures amounted to approximately \$22.3 million, of which \$3 million (14%), were payments of principal and interest on long-term debt. In other words, about fourteen cents of each dollar spent on non-capital expenditures was for debt service payments. In our model, the City's debt service load is still above satisfactory even though it is an increase from the prior period.

2017	2018	2019	2020	2021	2022	2023	2024
9%	13%	10%	11%	11%	11%	12%	14%

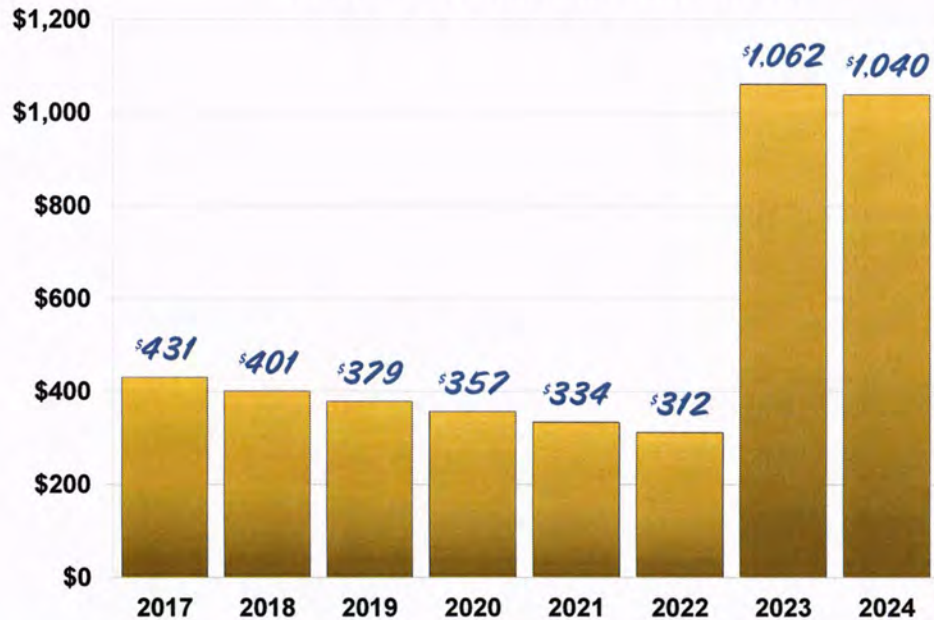
**PERFORMETER®  
RATING**

**7.2**

# BONDED DEBT PER CAPITA

*WHAT IS THE DEBT BURDEN ON OUR PROPERTY TAX PAYERS?*

**GENERAL BONDED DEBT PER CAPITA**



The financial ratio of general bonded debt per capita is an indication of the City's debt burden on its citizens and other taxpayers related to general obligation debt payable from property taxes. The ratio does not consider debt payable from enterprise activities or alternate revenues.

For the year ended June 30, 2024, the City had \$20.4 million of general obligation bonded debt. The City's general bonded debt per capita in 2024 amounted to \$1,040. This is consistent with the prior year ratio and is still considered a well below satisfactory general bonded debt burden in our model.

2017	2018	2019	2020	2021	2022	2023	2024
\$431	\$401	\$379	\$357	\$334	\$312	\$1,062	\$1,040

**PERFORMETER®  
RATING**



# LEGAL DEBT LIMIT REMAINING

*WILL WE BE ABLE TO ISSUE MORE DEBT, IF NEEDED?*

*PERCENTAGE OF LEGAL DEBT LIMIT USED  
VERSUS PERCENTAGE REMAINING*



■ Debt Limit Remaining    ■ Debt Limit Used

Oklahoma law limits certain types of general obligation debt to no more than 10% of the City's net assessed valuation of taxable property.

For the year ended June 30, 2024, the City continued to have no general obligation debt applicable to this limitation and had 100% of its general bonded debt legal limit remaining.

2017	2018	2019	2020	2021	2022	2023	2024
100%	100%	100%	100%	100%	100%	100%	100%

**PERFORMETER®  
RATING**

**10**

# PROPERTY TAXES PER CAPITA

*WILL OUR CITIZENS BE WILLING TO APPROVE PROPERTY TAX INCREASES, IF NEEDED?*

*TOTAL PROPERTY TAXES PER CAPITA*



The financial ratio of property taxes per capita is an indication of the City's property tax burden on its citizens and other taxpayers. Constitutionally, Oklahoma municipalities may only levy a property tax to retire general obligation bonded debt and judgments.

For the year ended June 30, 2024, the City experienced a significant increase in total property tax revenue in the amount of \$1.47 million or 73% from the prior year and increased the property tax levy per capita calculation.

2017	2018	2019	2020	2021	2022	2023	2024
\$0	\$31	\$31	\$36	\$31	\$27	\$28	\$104

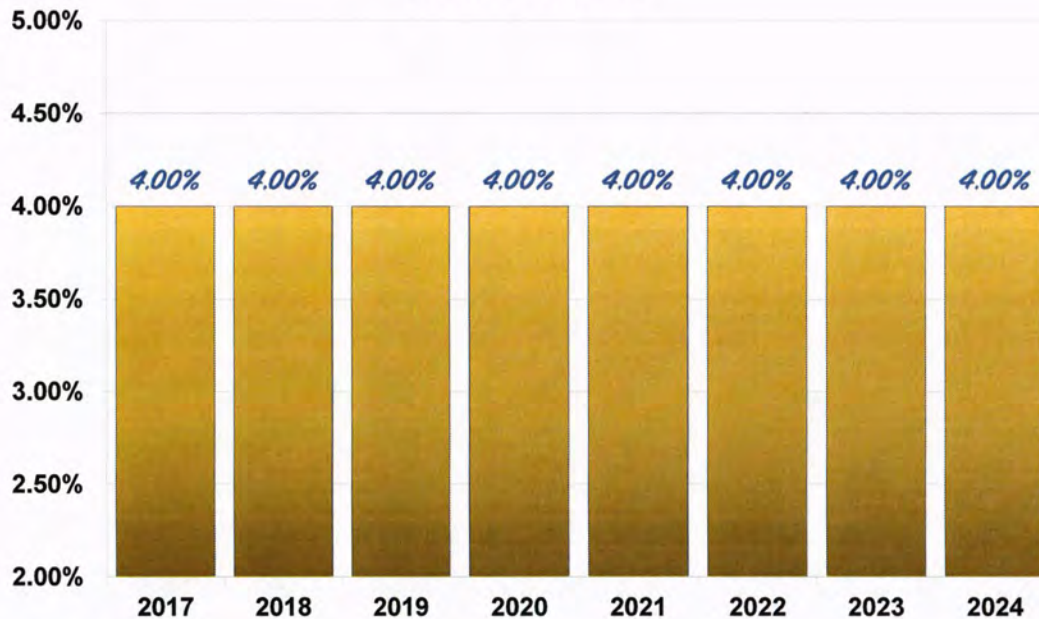
**PERFORMETER®  
RATING**



# LOCAL SALES TAX RATE

*WILL OUR CITIZENS BE WILLING TO APPROVE SALES TAX INCREASES, IF NEEDED?*

*SALES TAX RATE*



For Oklahoma municipalities, sales tax is the primary source of funding for general government operations. Sales tax rates cannot be increased without voter approval. In our model, a 2% tax rate is considered excellent from the financing margin perspective, while a 5% rate is considered poor as the city has less ability to increase the rate in the future.

For the year ended June 30, 2024, the City's sales tax rate in effect was 4.0%. This is unchanged from the prior period.

2017	2018	2019	2020	2021	2022	2023	2024
4.0%	4.0%	4.0%	4.0%	4.0%	4.0%	4.0%	4.0%

**PERFORMETER®  
RATING**

**3.3**

# FINANCIAL CAPABILITY RATINGS

## SUMMARY AND COMPARISON TO PRIOR YEARS

Ratio	FY 2018	FY 2019	FY 2020	FY 2021	FY 2022	FY 2023	FY 2024
Revenue Dispersion	47%	48%	56%	49%	49%	48%	56%
Debt Service Load	13%	10%	11%	11%	11%	12%	14%
General Bonded Debt per Capita	\$401	\$379	\$357	\$334	\$312	\$1,062	\$1,040
Remaining Legal Debt Margin	100%	100%	100%	100%	100%	100%	100%
Property Taxes per Capita	\$31	\$31	\$36	\$31	\$27	\$28	\$104
Sales Tax Rate	4.0%	4.0%	4.0%	4.0%	4.0%	4.0%	4.0%
Financial Capability Rating	<b>6.4</b>	<b>6.8</b>	<b>6.7</b>	<b>6.8</b>	<b>6.9</b>	<b>6.1</b>	<b>5.0</b>

# *THANK YOU!*

- We would like to commend and thank the City of Bethany for allowing us to present this financial analysis. We hope it serves as a useful and understandable complement to the annual financial report.
- Visit our website at [www.crawfordcpas.com](http://www.crawfordcpas.com) for other useful tools for governments.

## BETHANY CITY COUNCIL

**From:** Michael Vaughn, Finance Director  
**Date:** March 12, 2026  
**Subject:** Claims list for the 03/17/2026 City Council Meeting

### GENERAL OPERATIONS FUND

FUND	AMOUNT
General Operations Fund	\$ 149,915.74
Public Safety Fund	\$ 12,815.19
E911 Fund	\$ 2,400.00
Capital Improvement Fund	\$ 250,289.23
Municipal Court Fund	\$ 8,297.68
<b>TOTAL</b>	<b>\$ 423,717.84</b>

### ENTERPRISE-WIDE SUMMARY OF ALL CLAIMS:

FUND	AMOUNT
General Operations Fund	\$ 423,717.84
Bethany Public Works Authority	\$ 463,719.60
Bethany Hospital Trust	\$ -
Bethany Development Authority	\$ -
<b>TOTAL</b>	<b>\$ 887,437.44</b>

### RECOMMENDATION

1. Approve claims as presented.



P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: N/A NON-DEPARTMENTAL						
26-56075	10-005216	PERDUE BRANDON FIELDER	COLLFEB 2026 COLLECTION RPT	3/2026	2026 FEBRUARY	4,292.38
DEPARTMENT TOTAL:						4,292.38
DEPARTMENT: 01.0 MANAGEMENT						
26-54164	10-004660	MOTHER NATURE'S INC.	PEST CONTROL/GOPHER	3/2026	1604552	120.00
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	1,459.48
26-56136	10-005321	AMAZON CAPITAL SERVICES, INC	LOCK FOR CONF RM	3/2026	4866637	28.99
26-54731	10-005373	CARD SERVICES/P1	MICROSOFT AZURE/BUSINESS	3/2026	E0300Z32VS	1,112.50
26-55849	10-005703	FLOOR-TECH JANITORIAL	3 CASES FOR PAPER TOWELS	3/2026	7261	132.50
26-54544	10-005851	LYTLE, SOULE' & FELTY, P.C.	MONTHLY SVC	3/2026	320421	6,250.00
26-55096	10-005851	LYTLE, SOULE' & FELTY, P.C.	OUTSIDE OF CONTRACT	3/2026	320424	818.00
26-55992	10-006213	AIR TECHNOLOGIES	HVAC ASSESSMENT	3/2026	AT0017594	806.00
26-56129	10-0130	AMERICAN FIRE & SAFETY	HYDRO TEST-	3/2026	132977	105.75
26-56002	10-0668	HAYES ELECTRIC	LIGHT IN CH PARKING AREA	3/2026	84594	300.00
26-56008	10-0668	HAYES ELECTRIC	LIGHT OUT IN CITY HALL	3/2026	84597	207.15
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	806.77
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	314.20
26-54140	10-2274	OZARKA WATER COMPANY	MONTHLY RENTAL/WATER	3/2026	42016802	41.84
26-55515	10-2448	MARGARET MCMORROW-LOVE	ATTORNEY SVC	3/2026	20260302	1,968.00
26-55945	10-3196	IMAGENET CONSULTING, LLC	CONTRACT IT	3/2026	INV1557156	8,907.50
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	31.98
26-56134	10-4196	SAM'S CLUB/SYNCHRONY BANK	ANNUAL RENEWAL	3/2026	999999	50.00
26-54530	10-4310	AMERIFLEX	FSA ADMIN FEE	3/2026	INV961613	180.20
DEPARTMENT TOTAL:						23,640.86
DEPARTMENT: 02.0 FINANCE						
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	83.79
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	15.97
DEPARTMENT TOTAL:						99.76
DEPARTMENT: 03.0 COURT						
26-55662	10-004795	COMPUTER PROJECTS OF ILLINOIS	LET'S LICENSE	3/2026	26-02-76ME	396.00
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	470.79
26-56044	10-005321	AMAZON CAPITAL SERVICES, INC	OFFICE SUPPLIES	3/2026	1078600	221.53
26-54283	10-006123	CHRISTOPHER T. STEIN	CITY PROSECUTOR	3/2026	2026-02	990.00
26-54284	10-006144	ROBERT BLACK, PLLC	CITY PROSECUTOR	3/2026	2-2026	1,347.50
26-54985	10-006282	INDRA I. CARRILLO	FEB INTERPRETER	3/2026	02-2026	270.00
26-55961	10-006282	INDRA I. CARRILLO	TRIAL INTERPRETER	3/2026	02-2026-	180.00
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	219.53
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	167.58
26-54062	10-2274	OZARKA WATER COMPANY	FEB 2026 WATER	3/2026	42016803	33.89
26-55988	10-3258	CITY OF YUKON	INMATE HOUSING	3/2026	2602	126.00
26-54051	10-3342	JANI-KING OF OKLAHOMA, INC.	MAR 2026 JANITORIAL SERV	3/2026	MAR-OKC03260209	640.66
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	31.98
DEPARTMENT TOTAL:						5,095.46

FUND: 010- GENERAL FUND

SUMMARY REPORT

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 05.0		POLICE				
26-54447	10-004789	TRADS, INC	MONTHLY USAGE	3/2026	234929-202602-1	100.00
26-54401	10-004912	DIGI GROUP	MONTHLY USAGE FEES	3/2026	IN37111	154.83
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	2,409.85
26-56080	10-005373	CARD SERVICES/P1	Shelter Manager	3/2026	C02740	395.00
26-56097	10-005373	CARD SERVICES/P1	Janitorial Supplies	3/2026	20260304	332.84
26-55993	10-005595	RAY'S WESTSIDE TAG AGENCY	TAG 23-006	3/2026	26-55993	50.00
26-56058	10-005687	SUNDANCE OFFICE SUPPLY, INC	Paper Supplies	3/2026	603414	410.00
26-55948	10-0225	GENUINE PARTS	NAPA PARTS	3/2026	110255	45.40
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	1,514.05
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	40,207.48
26-56054	10-1509	TOM'S SPEEDY LOCK & KEY SERKEY	COPIES	3/2026	71005	14.00
26-55800	10-1551	UNITED ENGINES, LLC	GENNERATOR REPAIRS	3/2026	4145960	331.38
26-55972	10-2123	HOME DEPOT CREDIT SVCS	BOXES FOR PROP AUCTION	3/2026	004824/3510011	80.82
26-55908	10-2369	STAN'S PLUMBING INC	KITCHEN SINK	3/2026	26935	120.00
26-54349	10-2442	SUMNERONE, INC.	3 Copier Lease & Usage	3/2026	4551434	133.26
26-54126	10-3342	JANI-KING OF OKLAHOMA, INC.	Monthly Cleaning	3/2026	OKC03260105	1,924.66
26-56013	10-3518	CHAD MEEK	Uniform Belt	3/2026	20260220	61.60
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	31.98
26-54132	10-4090	AT&T MOBILITY	Monthly Billing	3/2026	02192026--	1,469.46
26-54467	10-4090	AT&T MOBILITY	MONTHLY ETHERNET	3/2026	7247923110	523.90
26-56072	10-4352	MCBRIDE CLINIC	DRUG SCREEN	3/2026	20260302	32.00
26-54136	10-4388	ISG TECHNOLOGY, LLC	Monthly Billing	3/2026	MSP368940	4,200.55

DEPARTMENT TOTAL: 54,543.06

DEPARTMENT: 06.0		FIRE				
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	1,318.39
26-56119	10-005373	CARD SERVICES/P1	NREMT RENEWALS	3/2026	20260306	227.00
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	880.57
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	28,665.76
26-56081	10-1282	BOB RODGERS GARAGE	TRANSPORT DONATED SHED	3/2026	26-13870	200.00
26-55942	10-3920	OSU OFFICE OF THE BURSAR	PROMOTIONAL EXAM	3/2026	105007	4,250.00
26-54467	10-4090	AT&T MOBILITY	MONTHLY ETHERNET	3/2026	7247923110	523.90
26-56082	10-4090	AT&T MOBILITY	MOBILE DATA FOR IPADS	3/2026	02192026	86.08
26-56057	10-4251	SAM'S CLUB DIRECT FD	JANITORIAL SUPPLIES	3/2026	20260227-	392.83

DEPARTMENT TOTAL: 36,544.53

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 07.0 COMMUNITY DEV						
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	806.45
26-56011	10-1530	THE TRIBUNE	HEARING REZONE PC 26-08	3/2026	02-27-2026	120.94
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	31.98
DEPARTMENT TOTAL:						959.37
DEPARTMENT: 08.1 PUBLIC WORKS - ADMIN						
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	401.99
26-56079	10-005321	AMAZON CAPITAL SERVICES,	INTOILET PAPER & MOUSE	3/2026	7899409	8.48
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	900.17
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	722.67
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	31.98
DEPARTMENT TOTAL:						2,065.29
DEPARTMENT: 08.2 PUBLIC WORKS - STREETS						
26-54003	10-004688	TLS GROUP, INC.	MAINTAGREEMENTSIGNALATION	3/2026	0226-1807	960.00
26-55978	10-004688	TLS GROUP, INC.	23TH WILBURN	3/2026	1974	273.00
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	330.94
26-56042	10-005321	AMAZON CAPITAL SERVICES,	INFLOOR DRY & BOOTS	3/2026	1248241	34.24
26-55849	10-005703	FLOOR-TECH JANITORIAL	3 CASES FOR PAPER TOWELS	3/2026	7261	66.25
26-56041	10-006081	CH&W COMMERCIAL TIRE, LLC	TWO TIRES FOR SKID STEER	3/2026	3-71296	555.80
26-56018	10-006310	LIGHTHOUSE TRANSPORTATION	GDX TRAFIC LIGHTS	3/2026	26230	500.00
26-56063	10-0572	REDDY ICE CORP	90 BAGS OF ICE	3/2026	3660136227	18.90
26-55999	10-0694	HASKELL LEMON CONST CO	2 TONS OF ASPHALT	3/2026	19260	124.80
26-56052	10-0694	HASKELL LEMON CONST CO	2 TONS ASPHALT	3/2026	19392	173.60
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	12,170.12
26-55886	10-1350	SMITH FARM & GARDEN	TIRE & WHEEL FOR ZTR	3/2026	188250	491.84
26-56047	10-1622	WESTLAKE ACE HARDWARE	ROPE TIEDOWN BULK TRASH	3/2026	3505435	46.99
26-55996	10-2702	AMERICAN LOGO & SIGNS	SPEED LIMIT SIGN EAGLELAN	3/2026	34307	600.00
26-56089	10-2895	CHAPPELL SUPPLY	FOUR HOUSES SKID STEER	3/2026	0388653-IN	188.15
26-56137	10-3081	PREMIER TRUCK/ATC FREIGHTLI	INJECTOR LINE #802	3/2026	120892842	205.38
DEPARTMENT TOTAL:						16,740.01

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 08.4 PUBLIC WORKS - MAINT						
26-56042	10-005321	AMAZON CAPITAL SERVICES,	INFLOOR DRY & BOOTS	3/2026	1248241	17.12
26-56061	10-005756	OVERHEAD DOOR	REPAIR FLEET DOOR	3/2026	0315757-IN	645.00
26-56068	10-005995	SYN-TECH	FUELMaster MAINTENANCE	3/2026	330405	300.00
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	397.99
26-55857	10-2305	HOIDALE CO INC	ANNUAL COMPLIANCE TESTING	3/2026	29619	113.75
26-56120	10-2305	HOIDALE CO INC	GASKET ON DIESEL	3/2026	INV29693	116.33
DEPARTMENT TOTAL:						1,590.19
DEPARTMENT: 08.5 PUBLIC WORKS - PARKS						
26-54004	10-0006	A WELDORS SUPPLY	MONTHLYFEESFORWELDING	3/2026	275689	22.40
26-56017	10-005005	BRONCO EQUIPMENT RENTAL &	SSTUMP GRINDER	3/2026	911543-0001	520.00
26-54807	10-005156	COX COMMUNICATIONS INC.	PARKS MNTLY SVC	3/2026	20260228--	29.43
26-56042	10-005321	AMAZON CAPITAL SERVICES,	INFLOOR DRY & BOOTS	3/2026	1248241	93.11
26-56051	10-006119	PIONEER EQUIPMENT, INC.	WHEEL BEARINGS MOWERS	3/2026	139544	50.28
26-56096	10-0225	GENUINE PARTS	POWERBRAKEBOOSTER	3/2026	110729	376.91
26-56063	10-0572	REDDY ICE CORP	90 BAGS OF ICE	3/2026	3660136227	18.90
26-56125	10-0883	LOCKE SUPPLY CO.	LIGHT BULBS	3/2026	57760138-00	9.04
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	41.12
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	2,241.30
26-56040	10-1622	WESTLAKE ACE HARDWARE	BULKFASTNERCHAINSAWFILE	3/2026	3505432	34.31
26-56062	10-1622	WESTLAKE ACE HARDWARE	ROPE & DOOR HINGE,RAKE	3/2026	3505442	38.98
26-56099	10-1622	WESTLAKE ACE HARDWARE	DOUBLE SIDE TAPE	3/2026	3505447	7.59
26-56121	10-1622	WESTLAKE ACE HARDWARE	HOSE & FASTENERS & BRACE	3/2026	3505453	35.28
26-56127	10-1622	WESTLAKE ACE HARDWARE	BIBB HOSE FOR PARKS RESTR	3/2026	3505461	26.58
26-56107	10-1726	BETHANY COUNTRY STORE	HERBICIDES FOR SPRAYING	3/2026	2837571	631.00
26-56117	10-2697	AUTOZONE	TRASMISSION FILTER & LINE	3/2026	06854661296	136.60
26-56072	10-4352	MCBRIDE CLINIC	DRUG SCREEN	3/2026	20260302	32.00
DEPARTMENT TOTAL:						4,344.83
FUND TOTAL:						149,915.74

FUND: 021- PUBLIC SAFETY FUND

SUMMARY REPORT

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 99.0		NON-DEPARTMENTAL				
26-56059	10-006236	RTS TACTICAL	TACTICAL SHIELDS	3/2026	INV4097	12,689.73
26-56128	10-3518	CHAD MEEK	Christmas Party Reimburse	3/2026	20251212	125.46
DEPARTMENT TOTAL:						12,815.19
FUND TOTAL:						12,815.19

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 40.0		PROJECTS				
26-56114	10-006315	SPATIAL DATA RESEARCH, INC.GIS Services		3/2026	OKNG911101	2,400.00
DEPARTMENT TOTAL:						2,400.00
FUND TOTAL:						2,400.00

FUND: 031- CAPITAL IMPROVE PROJECTS

SUMMARY REPORT

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 40.0		PROJECTS >\$25,000				
26-55465	10-006300	AMERICAN FIRE TRAINING	SYSTFIRE TRAINING TOWER	3/2026	006264	237,500.00
26-56148	10-3331	RUCKER MECHANICAL	UNIT 4 REZNR	3/2026	80908	12,789.23
DEPARTMENT TOTAL:						250,289.23
FUND TOTAL:						250,289.23

FUND: 072- MUNICIPAL COURT FUND

SUMMARY REPORT

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: N/A		NON-DEPARTMENTAL				
26-56071	10-1869	CLEET	FEB 2026 CLEET REPORT	3/2026	FEBRUARY 2026	2,850.57
26-56073	10-1970	OSBI	FEBRUARY 2026 AFIS REPORT	3/2026	FEB 2026	2,816.75
26-56074	10-1970	OSBI	FEB 2026 FORENSIC RPT	3/2026	22026 FEB	2,630.36
DEPARTMENT TOTAL:						8,297.68
FUND TOTAL:						8,297.68
GRAND TOTAL:						887,437.44

CITY OF BETHANY

From: Michael Vaughn, Finance Director  
Date: 3/7/2026  
Subject: Budget Amendment 26-16

BACKGROUND

The Bethany Police Department received an anonymous donation of \$5,200.00 to purchase breaching tools to be used by the department. Budget Amendment 26-16 recognizes this donation and appropriates the funds to be used for the specified purchase.

RECOMMENDATION

1. Approve Budget Amendment 26-16 (attached).

ADDITIONAL COMMENTS

A circular stamp containing the handwritten initials "dg" in blue ink.

**Approval of and authorization to execute Budget Amendment Number BA# 26-16**

**BUDGET AMENDMENT FORM**

**Funds:** Public Safety Fund  
**Amendment #:** BA# 26-16  
**Fiscal Year:** FY 2026

<u>Account #</u>	<u>Account Name</u>	<u>Estimated Revenue</u>		<u>Appropriations</u>	
		<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
<b>Public Safety Fund</b>					
021-36522	Police Dept Donations	5,200			
021-599.0-297	Police Dept Donation Exp			5,200	
<b>TOTALS</b>		<u>5,200</u>	<u>-</u>	<u>5,200</u>	<u>-</u>

**EXPLANATION:**

Budget Amendment 26-16 Recognizes donations received by the Police Department and Appropriates these funds for expenditure.

**Date & Signature of Mayor:** x \_\_\_\_\_ Date

**Date & Signature of City Manager:** x \_\_\_\_\_ Date

**Date Approved by the City of Bethany:** March 17th, 2026 \_\_\_\_\_

Unappropriated Fund Balance Remaining After Amendment: **Public Safety Fund**  
433,952.00

**CITY OF BETHANY**

From: Michael Vaughn, Finance Director  
Date: 3/7/2026  
Subject: Budget Amendment 26-17

BACKGROUND

The Bethany Economic Development Authority (BEDA) voted at their October 23, 2025 meeting to provide funding for a Community Development intern not to exceed \$1,800.00. The Intern is to be paid through the Community Development Department's payroll, and the amount from BEDA will be transferred as needed. Budget Amendment 26-17 recognizes the transfer from BEDA and increases the Community Development Department's salary account accordingly.

RECOMMENDATION

1. Approve Budget Amendment 26-17 (attached).

ADDITIONAL COMMENTS

A circular stamp containing the handwritten initials "dg" in blue ink.

**Approval of and authorization to execute Budget Amendment Number BA# 26-17**

**BUDGET AMENDMENT FORM**

Funds: General Fund  
 Amendment #: BA# 26-17  
 Fiscal Year: FY 2026

<u>Account #</u>	<u>Account Name</u>	<u>Estimated Revenue</u>		<u>Appropriations</u>	
		<u>Increase</u>	<u>Decrease</u>	<u>Increase</u>	<u>Decrease</u>
<b>General Fund</b>					
010-507.0-100	Salaries			1,800	
010-599.0-821	Transfer In - Public Safety Fd	1,800			
<b>TOTALS</b>		<u>1,800</u>	<u>-</u>	<u>1,800</u>	<u>-</u>

**EXPLANATION:**

Budget Amendment 26-17 Recognizes a transfer from the Public Sfatey fund to the General fund and increases the amount of salary expense in the Community Development Department.

Date & Signature of Mayor: \_\_\_\_\_ x \_\_\_\_\_ Date

Date & Signature of City Manager: \_\_\_\_\_ x \_\_\_\_\_ Date

Date Approved by the City of Bethany: March 17th, 2026 \_\_\_\_\_

**General Fund**

Unappropriated Fund Balance Remaining After Amendement: 4,002,487.00

**BETHANY CITY COUNCIL**

From: Brett Crecelius  
Date: March 9, 2026  
Subject: Consider a request by Southern Nazarene University, Applicant and Property Owner to rezoning sixteen properties from R-1, Single-Family Residential to E-I, Educational-Institutional.

BACKGROUND

Attached are the minutes and the staff report from the March 5, 2026 Planning and Zoning Commission meeting. Motion was made by James Clemmer, seconded by Ron Crouch to approve rezoning the sixteen properties from R-1, Single-Family Residential to E-I, Educational-Institutional. The votes are as follows: AYE- Justin Peck, James Clemmer, Robert Helton, Sam Thurman, Ron Crouch, Arvel Williams. The motion carried unanimously 6 – 0.

RECOMMENDATION

1. As develops during meeting.



ADDITIONAL COMMENTS

Ad valorem follows the actual use of the property. A zoning change to educational does not necessarily mean the property tax will be eliminated.

MINUTES  
CITY OF BETHANY  
PLANNING AND ZONING COMMISSION  
MARCH 5, 2026

MEMBERS PRESENT:

Justin Peck, Chair  
James Clemmer, Vice-Chair  
Sam Thurman  
Robert Helton  
Ron Crouch  
Arvel Williams

MEMBERS ABSENT:

Steve Marx  
Jennifer Edmonson

STAFF PRESENT:

Ray Jones, City Attorney  
Brett Crecelius, Comm. Dev. Director  
Raquelynne Diaz, Comm. Dev. Associate  
Linda Hlinicky, Adm. Assistant

NOTICE: Agenda posted in the lobby and on the front door of Bethany City Hall, 6700 NW 36th St., Bethany, OK 73008 on or before Friday, February 27, 2026 at 4:00 p.m.

Justin Peck, Chair called the meeting to order and gave the invocation. Motion was made by Robert Helton, seconded by James Clemmer to approve the February 19, 2026 Planning and Zoning Commission minutes with the following amendments.: 1) on Page Two (last paragraph) should read, "Commissioner Helton read some of the uses that are allowed in I-L , and expressed his concerns about the noise and other industrial use side effects that would affect the residential area." 2) Page Two (paragraph 9) - change the word "out" to "our". The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Robert Helton, Ron Crouch, Arvel Williams. NAY- None. ABSTAIN - None. The motion carried unanimously 6 - 0.

**ITEM 1: PC 26-05**

Consider a request by Southern Nazarene University, Applicant and Property Owner, to rezone Sixteen properties from R-1 (Single-Family Residential) to E-I (Educational Institutional).

**LEGAL DESCRIPTION AND PROPERTIES:**

1. 4312 N. College Ave.
  - a. Legal description: The North 2.6 feet of Lot Two (2) and all of Lot Three (3) in Block Two (2) in NORTHSIDE ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
2. 4314 N. College Ave.
  - a. Legal description: Lot FOUR (4) of Block TWO (2), in NORTH SIDE ADDITION, to Bethany, Oklahoma County, Oklahoma according to the recorded plat thereof

3. 4302 N. Peniel Ave.
  - a. Legal description: The South 45 feet of Lot Six (6), Block Four (4), Davis Addition to the City of Bethany, Oklahoma County, Oklahoma
4. 4304 N. Peniel Ave.
  - a. Legal description: The North 27 ½ feet of Lot 'SIX (6) and the South 22 ½ feet of Lot SEVEN (7), of Block FOUR (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
5. 4305 N. Donald Ave.
  - a. Legal description: The South 1 foot of Lot Two (2) and the North 60 feet of Lot Three (3), of Block Four (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
6. 4307 N. Donald Ave.
  - a. Legal description: The North FIFTY (50) feet of the South FIFTY-INE (51) feet of Lot TWO (2), in Block (4) of DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
7. 4010 N. Redmond Ave.
  - a. Legal description: The South Sixty (60) feet of the North One-Hundred Twenty-one and Sixty-six hundredths, (121.66) feet of the West One-Hundred fifty (150) feet of Block Fifteen (15) COCKRELL PLACE ADDITION, Bethany, Oklahoma County, being a subdivision of the SE/4 of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, according to the recorded plat thereof
8. 4012 N. Redmond Ave.
  - a. Legal description: the North 61.66 feet of the West 150 feet only of Block Fifteen (15), in Cockrell Place, in Oklahoma County, Oklahoma, according to the recorded plat thereof
9. 4108 N. Redmond Ave.
  - a. Legal description: Part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof. Said part being more particularly described as follows: Beginning at a point 59 feet South of the Northwest corner of said Block Ten (10); Thence East 166 feet; Thence South 50 feet; Thence West 166 feet; Thence North 50 feet to the Point of Place of Beginning
10. 4200 N. Redmond Ave.
  - a. Legal description: The West 100 feet of the South 60 feet of the North 203 feet of Block Seven (7), COCKRELL PLACE ADDITION, being a sub-division of a part of the Southeast Quarter (SE/4), of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, Oklahoma County, State of Oklahoma, according to the recorded plat thereof
11. 4206 N. Redmond Ave.
  - a. Legal description: The West Half (W/2) of the South Fifty (50) feet of the North Ninety-three (93) feet of Block Seven (7), in COCKRELL PLACE, Oklahoma County, Oklahoma, according to the recorded plat thereof

12. 4208 N. Redmond Ave.

- a. Legal description: The South 32 feet of the West Half (w/2) of Block Two (2) and the North 43 feet of the West Half (W/2) of Block Seven (7) in COCKRELL PLACE, an Addition in Oklahoma County, Oklahoma, as shown by the recorded plat thereof

13. 6300 NW 41st Street

- a. Legal description: Part of Blocks Seven (7) and Ten (10), in COCKRELL PLACE ADDITION, a subdivision of part of the North Half (N1/2) of the Southeast Quarter (SE/4) of Section 16, Township 12 North, Range 4 West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 30 feet West of the Northeast Corner of Said Block 7; Thence South 100 feet; Thence West 73 feet; Thence North 100 feet; Thence East 73 feet to the point or place of beginning, Oklahoma County, Oklahoma, according to the recorded plat thereof

14. 6302 NW 41st Street

- a. Legal description: A part of Blocks Seven (7) and ten (10), in COCKRELL PLACE, a subdivision of the North Half (N/2) of the Southeast Quarter (SE/4) of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 103 feet West of the NE/Corner of Block 7, thence South 100 feet; thence West 73 feet; thence North 100 feet; thence East 73 feet to the point of beginning,

15. 6305 NW 41st Street

- a. Legal description: East Seventy-six (76) feet of the West One Hundred Seventy-Six (176) feet of the South Sixty (60) feet of the North Two Hundred three (203) feet of Block Seven (7), in COCKRELL PLACE to Oklahoma County, Oklahoma, according to the recorded plat thereof

16. 4105 N. Wheeler Ave.

- a. Legal description: A part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof; more particularly described as follows: Beginning at a point 259 feet North and 30 feet West of the Southeast corner of said Block 10; thence West 146 feet; thence North 52 feet; thence East 146 feet; thence South 52 feet to the Point of Beginning **(ITEM TO BE HEARD BY CITY COUNCIL ON MARCH 17, 2026.)**

**ACTION:** Raquelynne Diaz, Comm. Dev. Associate presented an aerial map and staff report to rezone 16 properties from R-1, Single Family to E-I, Educational-Institutional per request by Southern Nazarene University, Applicant and Property Owner. She explained in SNU's application they note this consolidation will help with their educational purposes. Our comprehensive plan goes along with SNU's rezoning request.

Ray Jones, City Attorney explained the procedures for anyone in the audience wanting to speak to a particular item.

Ms. Brianna Tipton, Attorney representing Southern Nazarene University spoke to the Planning and Zoning Commission. This is our third group of properties that we wish to rezone. First group was in 2021, second group in the late spring/early summer we requested rezoning of two properties. Now, we are back for an additional sixteen properties to be rezoned to E-I, Educational-Institutional. She explained SNU is asking for the Planning Commission to approve the university using their property in a way that will further the university's mission.

Commissioner Clemmer asked if the university has thought about building up with the buildings instead of spreading out.

Gary Cummings, CEO at Southern Nazarene University explained we are in a campaign to raise twelve million dollars over the next three to four years. Eighty percent of those dollars will refurbish existing buildings. So, at this time, we are not planning to fill up these sixteen properties or other properties that exist. It is just a cleanup to mark all those different properties we do own with educational. At this time there is no specific plans to put anything new on these sixteen properties with one possible exception that we are growing and because of that growth we are looking at where we can possibly put a mini dorm.

Motion was made by James Clemmer, seconded by Ron Crouch to approve rezoning the sixteen properties from R-1, Single Family to E-I, Educational Institutional. The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Robert Helton, Ron Crouch, Arvel Williams. NAY- None. ABSTAIN- None. The motion carried unanimously 6 - 0.

**ITEM 2: PC 26-06**

Consider a request by Box Law Group, PLLC, on behalf of the Applicant and John Thephahanh, Property Owner, to rezone 2200 N. Flamingo Ave. from E-I (Educational Institutional) to PUD (Planned Unit Development).

**LEGAL DESCRIPTION:** UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W OF NE/C NW/4 TH W150FT S321.51FT NELY ALONG A CURVE 137.50FT E15FT N300FT TO BEG PLUS A TR BEG 180FT W & 220FT S OF NE/C NW4 TH W215FT SWLY233.78FT SELY ALONG A CURVE 210.71FT SELY ALONG A REVERSE CURVE 172.32FT NELY126.42FT NELY ALONG A CURVE 119.02FT N321.51FT TO BEG EX A TR BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG (ITEM TO BE HEARD BY CITY COUNCIL ON MARCH 17, 2026.)

**ACTION:** Raquelynne Diaz, Comm. Dev. Associate presented the staff report to consider a request to rezone 2200 N. Flamingo Ave. from E-I, Educational Institutional to PUD, Planned Unit Development. The applicant plans to rezone property to a PUD to develop the site into a multi-family residential community consisting of eleven duplexes.

Ms. Turner, Attorney representing John Thephahanh, Property Owner spoke to the Planning and Zoning Commission. This PUD request is for a duplex development. We will have a privacy fence along the south side of development to buffer from the existing single-family homes. The proposal is compatible with the area and meets the comprehensive plan.

Commissioner Clemmer asked about the private drive noted on plans. Who does private drive belong too?

Loyd Spaugy, Representing applicant stated the private drive is on our property.

Commissioner Helton stated the comprehensive plan map calls for educational-institutional here.

Ms. Turner, Attorney representing John Thephahanh, Property Owner said yes. Our application to rezone is to change from E-I, Educational Institutional to PUD, Planned Unit Development.

Commissioner Williams asked if the primary reason to change zoning to PUD is to change the restrictions.

Ms. Turner, Attorney representing John Thephahanh, Property Owner stated we did get the modification for setbacks, and limits the amount of units we can have on property to eleven duplexes.

After some discussion about comprehensive plan and the PUD request for duplexes, Commissioner Helton read the State Statues 11-43-110 and 11-43-111 on PUD's. Commissioner Helton said he wants the copies of these two statues added to the minutes.

City of Bethany  
 Planning & Zoning Staff Report  
 March 5th, 2026

Case Number: PC 26-05

**Request:** Consider a request by Southern Nazarene University, Applicant and Property Owner, to rezone Sixteen properties from R-1 (Single-Family Residential) to E-I (Educational Institutional).

**Current Zoning:** R-1 (Single Family Residential)

**Proposed Zoning:** E-I (Educational Institutional)

**Surrounding Zoning:**

Direction	Zoning
North	R-1 (Single- Family Residential) & E-I (Educational Institutional)
South	R-1 (Single- Family Residential), E-I (Educational Institutional) & C-G (Commercial General)
East	R-1 (Single- Family Residential) & E-I (Educational Institutional)
West	R-1 (Single- Family Residential) & E-I (Educational Institutional)

Table 1

**Zoning Characteristics**

	R-1	E-I
Use	Single-Family Dwelling	Educational- Institutional
Minimum Lot Area	6,000 square feet	None
Lot area (minimum) per dwelling unit	6,000 square feet	None
Intensity of use	1 dwelling per lot	None
Height (maximum) feet	35 feet or 2-1/2 stories	None

Table 2

**Total Lot Characteristics:**

Setbacks	R-1	E-I
Front	25 feet	25 feet
Rear	20 feet	15 feet
Side (Interior lots)	10 feet on one side, 5 feet on the other	15 feet
Side (Corner lots) &	25 feet	25 feet

**Background:**

The applicant is requesting a rezone for sixteen (16) properties to match the zoning of their campus for long term plans, and for more consistent zoning on the properties owned. The properties consist of 16 lots composing total acreage of 2.964 approximately 129,111.84 sq.ft.

**Analysis:**

In their application Southern Nazarene University notes that the changes are for the purpose of consolidating and enclosing properties owned by the University into the comprehensive plan of development in furtherance of the University's educational purposes, such as learning centers or residential living and to work to ensure the safety of students and staff who use or will use the properties in connection with their role as a University.

All the properties in the rezone request are currently owned by SNU and are zoned Single-Family Residential (R-1). The comprehensive plan highlights several city successes that have helped catalyze continued development and growth, including the contributions of Bethany's higher-education institutions. It further notes that Southern Nazarene University has ongoing and planned expansions, with projects expected to double the size of existing facilities and add new student housing. These efforts align with the comprehensive plan's broader goal for Bethany to invest in its future by fostering a thriving economy supported by diverse employment, development, and mixed-use opportunities. This approach positions the city to address needs related to commercial growth, new housing, educational facilities, and other local institutions. Additionally, Chapter 5 of the Comprehensive Plan, Figure 5-1, identifies this area as a planned project within Southern Nazarene University.

\* The zoning map currently shows two properties as R-1; however, these parcels were rezoned to E-I in 2025 under a previous SNU application. The map has not yet been

updated to reflect this change because the City's updated GIS contract is not yet in effect.

**Required Action:** Hold a public hearing to provide a recommendation to either approve or deny the applicants zoning change request. This recommendation will be heard by Bethany City Council on March 17, 2026, and a decision whether to approve or deny this change will be made.

**Attachments:**

- Zoning Map
- Aerial Photograph
- Application & Certified Owners List
- Public Notification





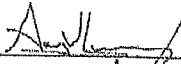
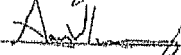
2026

JAN 21 2026

### APPLICATION FOR REZONING

We, the undersigned, being the owners or legal agents for the owners of more than fifty-one percent of the following described property, do hereby make application and petition the City Council to amend the zoning ordinance of the City of Bethany as hereinafter requested.

(PLEASE PRINT OR TYPE)

1. Applicant: Southern Nazarene University Phone #: 405-491-6306  
Address: 6729 Northwest 39th Expressway, Bethany, OK 73008
2. Record Property Owner(s): Southern Nazarene University Phone #: 405-491-6306  
Address: 6729 Northwest 39th Expressway, Bethany, OK 73008
3. Request rezoning from: R-1, Residential  
To: E-I, Education
4. Street address or location: see attachment
5. Legal description (attach if necessary): see attachment
6. Area of property (sq. ft.): approximately 129111.84 sq. ft; approximately 2.964 acres
7. The application shall be accompanied by the following:
  - a. Filing Fee.
  - b. Certified list of names and addresses of all property owners of record within three hundred (300) feet of the exterior boundaries of subject property.
  - c. Application for amendment of Comprehensive Plan (if applicable).
8. In order that your application can be heard at the next Planning Commission meeting, the completed application, accompanying information, and filing fees must be submitted before 12:00 noon the day of the deadline.
9. Signature of Applicant:   
Signature of Property Owner: 

APPLICATION FOR AMENDMENT  
OF THE COMPREHENSIVE PLAN  
FOR THE CITY OF BETHANY

Location and Extent of Requested Amendment (attached map if possible):  
see attached

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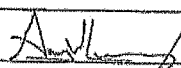
Present Designation: R-1, Residential

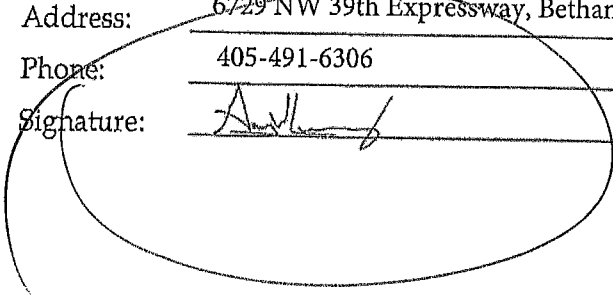
Requested to be changed to: E-I, Educational

Justification for Changes (include any change of conditions in the area, proof of the need for the uses allowed under the requested designation, relationships to traffic facilities, and any other evidence which would support the change): \_\_\_\_\_

The changes requested herein are for the purpose of consolidating and enclosing properties owned by the University into the comprehensive plan of development in furtherance of the University's educational purposes, such as learning centers or residential living and to work to ensure the safety of students and staff who use or will use the properties in connection with their role at the University.

(attach additional sheets, maps, etc., if necessary)

Applicant: Southern Nazarene Univesrity  
Address: 6729 NW 39th Expressway, Bethany, OK 73008  
Phone: 405-491-6306  
Signature: 



## SNU REZONING APPLICATION

### addresses, legal descriptions, and area of property

1. Street address or location: 4312 N. College Ave.
  - a. Legal description: The North 2.6 feet of Lot Two (2) and all of Lot Three (3) in Block Two (2) in NORTHSIDE ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.2277 acres; approximately 9,918.612 sq. ft.
  
2. Street address or location: 4314 N. College Ave.
  - a. Legal description: Lot FOUR (4) of Block TWO (2), in NORTH SIDE ADDITION, to Bethany, Oklahoma County, Oklahoma according to the recorded plat thereof
  - b. Area of property (sq ft): 0.2388 acres; approximately 10,402.218 sq. ft.
  
3. Street address or location: 4302 N. Peniel Ave.
  - a. Legal description: The South 45 feet of Lot Six (6), Block Four (4), Davis Addition to the City of Bethany, Oklahoma County, Oklahoma
  - b. Area of property (sq ft): 0.1395 acres; approximately 6,076.62 sq. ft
  
4. Street address or location: 4304 N. Peniel Ave.
  - a. Legal description: The North 27 ½ feet of Lot SIX (6) and the South 22 ½ feet of Lot SEVEN (7), of Block FOUR (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.1519 acres; approximately 6,616.764 sq. ft
  
5. Street address or location: 4305 N. Donald Ave.
  - a. Legal description: The South 1 foot of Lot Two (2) and the North 60 feet of Lot Three (3), of Block Four (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.1890 acres; approximately 8,232.84 sq. ft.
  
6. Street address or location: 4307 N. Donald Ave.
  - a. Legal description: The North FIFTY (50) feet of the South FIFTY-INE (51) feet of Lot TWO (2), in Block FOUR (\$) of DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.1550 acres; approximately 6,751.8 sq. ft.

7. Street address or location: 4010 N. Redmond Ave.
  - a. Legal description: The South Sixty (60) feet of the North One-Hundred Twenty-one and Sixty-six hundredths, (121.66) feet of the West One-Hundred fifty (150) feet of Block Fifteen (15) COCKRELL PLACE ADDITION, Bethany, Oklahoma County, being a subdivision of the SE/4 of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.2066 acres; approximately 8,999.496 sq. ft.
  
8. Street address or location: 4012 N. Redmond Ave.
  - a. Legal description: the North 61.66 feet of the West 150 feet only of Block Fifteen (15), in Cockrell Place, in Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.2135 acres; approximately 9,300.06 sq. ft.
  
9. Street address or location: 4108 N. Redmond Ave.
  - a. Legal description: Part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof. Said part being more particularly described as follows: Beginning at a point 59 feet South of the Northwest corner of said Block Ten (10); Thence East 166 feet; Thence South 50 feet; Thence West 166 feet; Thence North 50 feet to the Point of Place of Beginning
  - b. Area of property (sq ft): 0.1905 acres; approximately 8,298.18 sq. ft.
  
10. Street address or location: 4200 N. Redmond Ave.
  - a. Legal description: The West 100 feet of the South 60 feet of the North 203 feet of Block Seven (7), COCKRELL PLACE ADDITION, being a sub-division of a part of the Southeast Quarter (SE/4), of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, Oklahoma County, State of Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.1377 acres; approximately 5,998.212 sq. ft.
  
11. Street address or location: 4206 N. Redmond Ave.
  - a. Legal description: The West Half (W/2) of the South Fifty (50) feet of the North Ninety-three (93) feet of Block Seven (7), in COCKRELL PLACE, Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.2020 acres; approximately 8,799.12 sq. ft.

12. Street address or location: 4208 N. Redmond Ave.
  - a. Legal description: The South 32 feet of the West Half (w/2) of Block Two (2) and the North 43 feet of the West Half (W/2) of Block Seven (7) in COCKRELL PLACE, an Addition in Oklahoma County, Oklahoma, as shown by the recorded plat thereof
  - b. Area of property (sq ft): 0.3030 acres; approximately 13,198.68 sq. ft.
  
13. Street address or location: 6300 NW 41<sup>st</sup> Street
  - a. Legal description: Part of Blocks Seven (7) and Ten (10), in COCKRELL PLACE ADDITION, a subdivision of part of the North Half (N1/2) of the Southeast Quarter (SE/4) of Section 16, Township 12 North, Range 4 West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 30 feet West of the Northeast Corner of Said Block 7; Thence South 100 feet; Thence West 73 feet; Thence North 100 feet; Thence East 73 feet to the point or place of beginning, Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.1676 acres; approximately 7,300.656 sq. ft.
  
14. Street address or location: 6302 NW 41<sup>st</sup> Street
  - a. Legal description: A part of Blocks Seven (7) and ten (10), in COCKRELL PLACE, a subdivision of the North Half (N/2) of the Southeast Quarter (SE/4) of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 103 feet West of the NE/Corner of Block 7, thence South 100 feet; thence West 73 feet; thence North 100 feet; thence East 73 feet to the point of beginning,
  - b. Area of property (sq ft): 0.1676 acres; approximately 7,300.656 sq. ft.
  
15. Street address or location: 6305 NW 41<sup>st</sup> Street
  - a. Legal description: East Seventy-six (76) feet of the West One Hundred Seventy-Six (176) feet of the South Sixty (60) feet of the North Two Hundred three (203) feet of Block Seven (7), in COCKRELL PLACE to Oklahoma County, Oklahoma, according to the recorded plat thereof
  - b. Area of property (sq ft): 0.1041 acres; approximately 4,534.596 sq. ft.

16. Street address or location: 4105 N. Wheeler Ave.

- a. Legal description: A part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof; more particularly described as follows: Beginning at a point 259 feet North and 30 feet West of the Southeast corner of said Block 10; thence West 146 feet; thence North 52 feet; thence East 146 feet; thence South 52 feet to the Point of Beginning
- b. Area of property (sq ft): 0.1695 acres; approximately 7,383.42 sq. ft.

Total acreage = 2.9640

Total approximate sq. ft. = 129,111.84

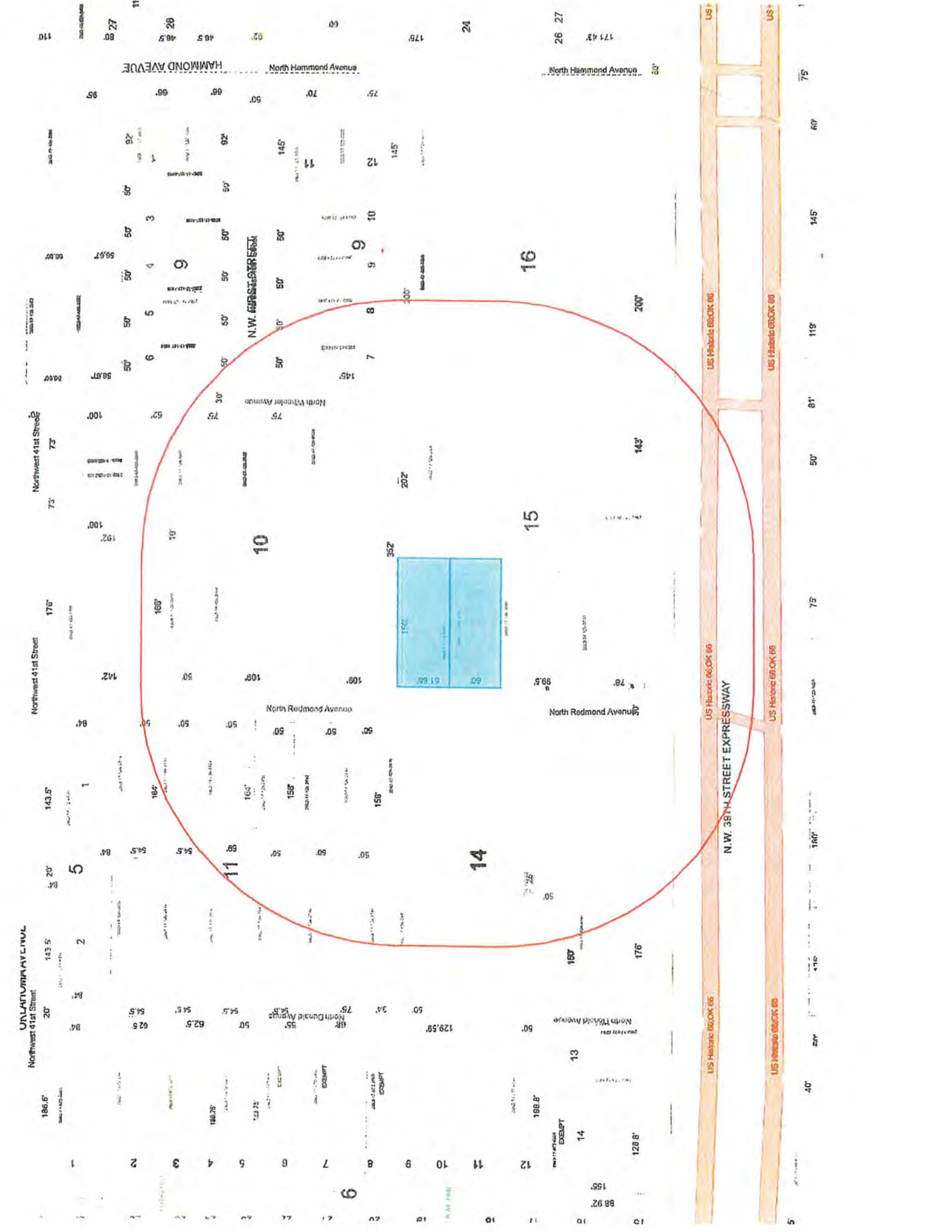
Larry Steir  
Oklahoma County  
Office

#8. 4012 N. Redmond  
#7. 4010 N. Redmond



## Ownership Radius Report

This Non-Official Report is for Account Numbers [R171263300](#) and [R171263025](#) is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office. **Official Record of this Certified Radius Report will expire 30 days from the date of creation stamped on the back of this sheet.**



Oklahoma County Assessor's  
300ft Radius Report  
1/14/2026

accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R171263700	SAFARI DEAN	POURSAEID FAITH	No Data	2120 NW 157TH TER	EDMOND	OK	73013-1730	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PRT OF BLK 15 BEG 32.5FT N OF SW/C N78FT E138FT S78FT W138FT TO BEG	6329 NW 39TH EXPY BETHANY
R171262860	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	014	000	COCKRELL PLACE ADD BLK 014 BEG 200FT S TO S LINE BLK 14 TH W176FT E26FT S TO S LINE BLK 14 TH W176FT TH N TO BEG EX S27.5FT OF W176FT	6433 NW 39TH EXPY BETHANY
R171263950	MILLER ROY N JR & KIMBERLEY I	No Data	No Data	4008 N REDMOND AVE	BETHANY	OK	73008-2838	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 N50FT OF S210FT W150FT BLK 15 PLUS N49.5FT OF S160FT W150FT BLK 15	4008 N REDMOND AVE BETHANY
R171263025	SOUTHERN NAZARENE UNIVERSITY	AN OKLAHOMA CORPORATION	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 S60FT OF N121.66FT OF W150FT	4010 N REDMOND AVE BETHANY
R171263300	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 N61.66FT OF W150FT	4012 N REDMOND AVE BETHANY
R171264400	SMILIN R REALTY LLC	No Data	No Data	11701 HACKNEY LN	YUKON	OK	73099	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD BLK 000 LOT 000 S112FT OF W10FT BLK 9 EX N3FT PLUS BEG 32.5FT N OF SW/C OF BLK 16 TH E100FT N291.91FT W100FT S TO BEG & A PT OF BLK 16 BEG 152FT W & 32.5FT N OF SE/C OF BLK 16 TH N291.91FT TO N LINE OF SD BLK TH W100FT S291.91FT E100FT TO BEG	6229 NW 39TH EXPY BETHANY
R171262900	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	014	000	COCKRELL PLACE ADD 014 000 BEG 20FT E OF NW/C BLK 14 TH E156FT S50FT W156FT N50FT TO BEG	4012 N DONALD BETHANY
R171262870	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S12FT E/2 BLK 11 & E/2 BLK 14 EX S27.5FT PLUS W/2 OF S60FT N100FT BLK 14 & S60FT OF N150FT W176FT BLK 14 & PT W/2 BLK 14 BEG 150FT S OF NW/C BLK 14 TH E150FT S90FT W150FT N50FT TO BEG	6401 NW 39TH EXPY BETHANY
R171262780	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E OF SW/C TH E156FT N34FT W156FT S34FT TO BEG	4014 N DONALD BETHANY
R171262740	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS OFFICE	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 10FT W & 13 1/2FT N SE/C BLK 11 W158FT N50FT E158FT S50FT TO BEG	4101 N REDMOND AVE BETHANY

Oklahoma County Assessor's  
300ft Radius Report  
1/14/2026

R171262640	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 259FT N & 30FT W OF SE/C TH W146FT N52FT E148FT S52FT TO BEG	4105 N WHEELER AVE BETHANY
R171271050	BALTAZAR MARY ANN	No Data	No Data	6213 NW 40TH ST	BETHANY	OK	73008-2814	COCKRELL PLACE RESUB	009	006	COCKRELL PLACE RESUB 009 006 W560FT	6213 NW 40TH ST BETHANY
R171262710	SOUTHERN NAZARENE UNIVERSITY	ATTN: DONALD BILLINGS	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W OF NE/C BLK W164FT S54.5FT E184FT N54.5FT TO BEG	4111 N REDMOND AVE BETHANY
R171262400	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PRT OF BLKS 7 & 10 BEG 243FT S OF NW/C OF BLK 7 S142FT E166FT S50FT E10FT N192FT W178FT TO BEG	4128N REDMOND AVE BETHANY
R171263600	WALLA LLC	No Data	No Data	4400 BRADEN CT	OKLAHOMA CITY	OK	73120	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD PT LOT 15 BEG NE/C LOT 15 TH S295.53FT TH W133.79FT TH N170.8FT TH N125.09FT TH E131.11FT TO BEG	6301 NW 39TH EXPY BETHANY
R171263605	FBL HOLDINGS LLC	No Data	No Data	2330 N HARRISON	SHAWNEE	OK	74804	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD PT LOT 15 BEG 150FT E OF NW/C LOT 15 TH E70.32FT TH S126.09FT TH S170.8FT TH W8.63FT TH N145FT TH W59FT TH N152.62FT TO BEG CONT .28 ACRS MORE OR LESS	No Data
R171263005	FBL HOLDINGS LLC	No Data	No Data	2330 N HARRISON ST	SHAWNEE	OK	74804-3135	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 S177.50FT OF E59FT W209FT & E12FT OF S110.50FT W150FT OF BLK 15 EX S32.50FT	6315 NW 39TH EXPY BETHANY

Oklahoma County Assessor's  
300ft Radius Report  
1/14/2026

R171262790	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS OFFICE	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E & 34.5FT N OF SW/C BLK 11 E164FT N75FT W164FT S75FT TO BEG	4036 N DONALD AVE BETHANY
R171262690	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG S109FT OF BLK 10	4100 N REDMOND AVE BETHANY
R171262760	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 10FT W & 63.5FT N OF SE/C TH W158FT TH N50FT TH E158FT TH S50FT TO BEG	4103 N REDMOND AVE BETHANY
R171272955	HRH ENTERPRISES INC	No Data	No Data	PO BOX 23013	OKLAHOMA CITY	OK	73123-2013	COCKRELL PLACE RESUB	009	007	COCKRELL PLACE RESUB 009 007 W50FT	6212 NW 40TH ST BETHANY
R171273000	DAVIS RUSSELL W	No Data	No Data	10225 W HEFNER RD	YUKON	OK	73099-8243	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 E4.7FT LOT 7 & W45.3FT LOT 8	6210 NW 40TH ST BETHANY
R171262830	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E & 109FT N OF SW/C BLK 11 E164FT N54.5FT W164FT S54.5FT	4100 N DONALD BETHANY
R171262770	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 PT OF BLK 11 BEG 10FT W & 113 1/2FT N OF SE/C BLK 11 TH W158FT N50FT E158FT S50FT TO BEG	4105 N REDMOND AVE BETHANY
R171262670	TRIMBLE SHERRILL J	No Data	No Data	4101 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 PT BLK 10 COCKRELL PLACE BEG AT A PT 108FT N & 30FT W OF SE/C SD BLK 10 TH W146FT N75F E146FT S75FT TO BEG	4101 N WHEELER AVE BETHANY
R171262800	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E & 109FT S OF NW/C BLK 11 S54.5FT E164FT N54.5FT W164FT TO BEG	4102 N DONALD BETHANY
R171262700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 109FT N OF SW COR BLK 10 E176FT N109FT W176FT S109FT	4104 N REDMOND AVE BETHANY
R171262720	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 104.5FT S OF NE/C BLK 11 W164FT S59FT E164FT N59FT TO BEG	4107 N REDMOND AVE BETHANY
R171262660	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 184FT N & 30FT W OF SE/C TH W146FT N75FT E146FT S75FT TO BEG	4103 N WHEELER AVE BETHANY
R171262680	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 59FT S OF NW/C TH E166FT S50FT W166FT N50FT TO BEG	4108 N REDMOND AVE BETHANY
R171262730	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 54.5FT S OF NE/C BLK 11 W164FT S50FT E164FT N50FT TO BEG	4109 N REDMOND AVE BETHANY

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Office

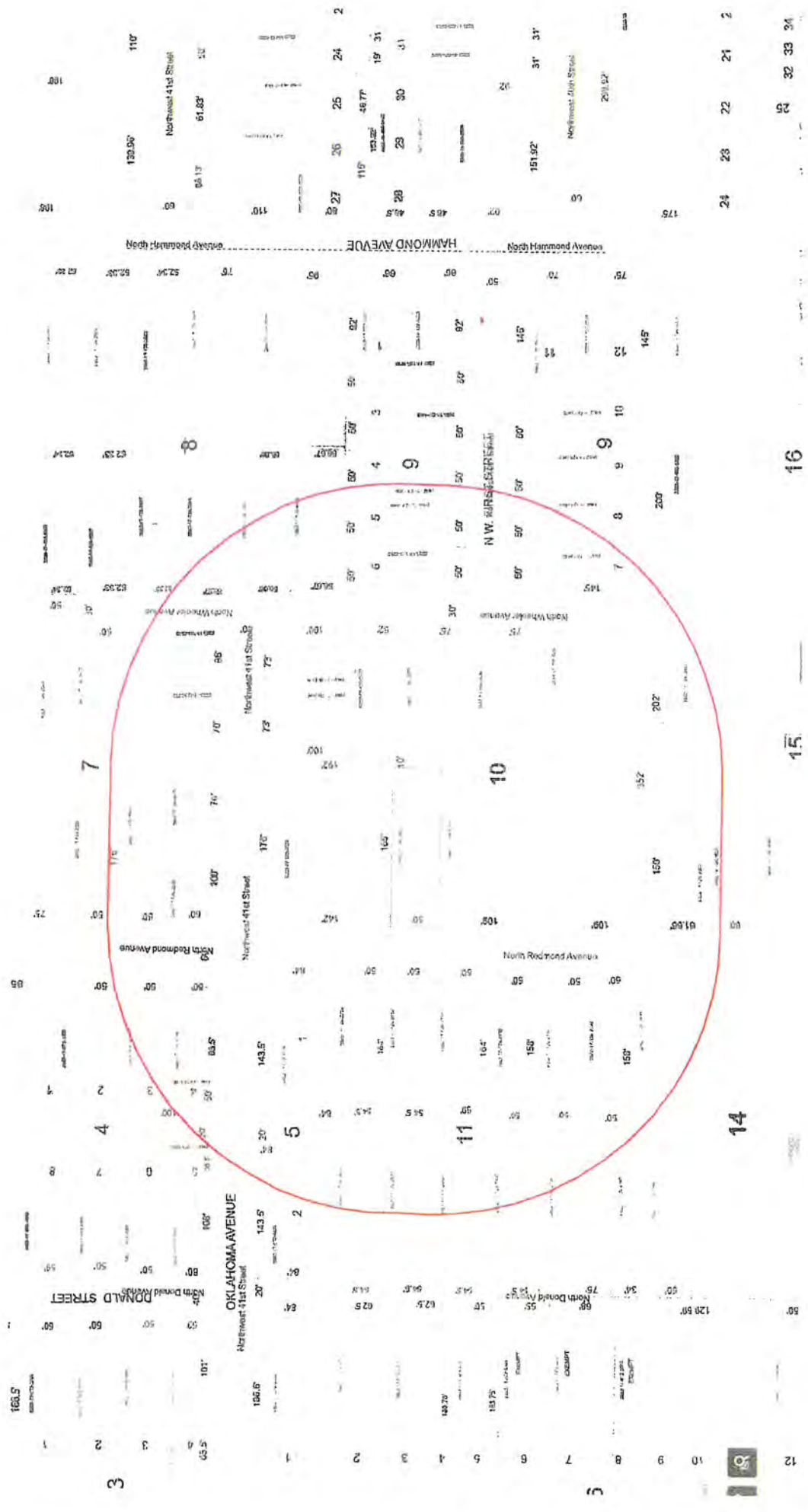
#9.

4108 N.  
Redmond



## Ownership Radius Report

This Non-Official Report is for Account Number [R171262680](#) and is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office. **Official Record of this Certified Radius Report will expire 30 days from the date of creation stamped on the back of this sheet.**



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14

24 23 22 21 2

29 32 33 34

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R171273055	HOUSE TREK OK LLC	No Data	No Data	967 E PARKCENTER BLVD, Unit 1019	BOISE	ID	83706	COCKRELL PLACE RESUB	009 000	COCKRELL PLACE RESUB 009 000	58.7 FT LOT 8 & W41.3 FT LOT 9	6208 NW 40TH ST BETHANY
R171262830	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011 000	COCKRELL PLACE ADD 011 000	20 FT E & 109 FT N OF SW/C BLK 11 E164 FT N54.5 FT W164 FT S54.5 FT	4100 N DONALD BETHANY
R171262770	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011 000	COCKRELL PLACE ADD 011 000	PT OF BLK 11 BEG 10 FT W & 113 1/2 FT N OF SE/C BLK 11 TH W158 FT N50 FT E158 FT S50 FT TO BEG	4105 N REDMOND AVE BETHANY
R171262670	TRIMBLE SHERRILL J	No Data	No Data	4101 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010 000	COCKRELL PLACE ADD 010 000	PT BLK 10 COCKRELL PLACE BEG AT A PT 109 FT N & 30 FT W OF SE/C SD BLK 10 TH W146 FT N75 FT E146 FT S75 FT TO BEG	4101 N WHEELER AVE BETHANY
R171262800	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011 000	COCKRELL PLACE ADD 011 000	20 FT E & 109 FT S OF NW/C BLK 11 S54.5 FT E164 FT N54.5 FT W164 FT TO BEG	4102 N DONALD BETHANY
R171262700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010 000	COCKRELL PLACE ADD 010 000	109 FT N OF SW COR BLK 10 E176 FT N109 FT W176 FT S109 FT	4104 N REDMOND AVE BETHANY
R171262720	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008	COCKRELL PLACE ADD	011 000	COCKRELL PLACE ADD 011 000	4 FT W & 104.5 FT S OF NE/C BLK 11 W164 FT S99 FT E164 FT N59 FT TO BEG	4107 N REDMOND AVE BETHANY
R171262680	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010 000	COCKRELL PLACE ADD 010 000	184 FT N & 30 FT W OF SE/C TH W146 FT N75 FT E146 FT S75 FT TO BEG	4103 N WHEELER AVE BETHANY
R171262680	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010 000	COCKRELL PLACE ADD 010 000	59 FT S OF NW/C TH E166 FT S50 FT W166 FT N50 FT TO BEG	4108 N REDMOND AVE BETHANY
R171262730	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011 000	COCKRELL PLACE ADD 011 000	4 FT W & 54.5 FT S OF NE/C BLK 11 W164 FT S50 FT E164 FT N50 FT TO BEG	4109 N REDMOND AVE BETHANY
R171262810	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011 000	COCKRELL PLACE ADD 011 000	54.5 FT S OF NW/C BLK 11 S54.5 FT E176 FT N54.5 FT W176 FT TO BEG SUBJ TO EASMENTS OF RECORD	4104 N DONALD BETHANY
R171262840	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010 000	COCKRELL PLACE ADD 010 000	259 FT N & 30 FT W OF SE/C TH W146 FT N52 FT E146 FT S52 FT TO BEG	4105 N WHEELER AVE BETHANY
R171271050	BALFAZAR MARY ANN	No Data	No Data	6213 NW 40TH ST	BETHANY	OK	73008-2814	COCKRELL PLACE RESUB	009 006	COCKRELL PLACE RESUB 009 006	W50 FT	6213 NW 40TH ST BETHANY

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R171271040	THE DEJAGER FAMILY LIMITED PARTNERSHIP IV	No Data	8039 NW 16TH ST	OKLAHOMA CITY	OK	79127	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W45.3FT LOT 5 & E4.7FT LOT 6	6211 NW 40TH ST BETHANY
R171271030	HERRING MARK	No Data	3100 NW 73RD ST	OKLAHOMA CITY	OK	79116	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W41.3FT LOT 4 & E8.7FT LOT 5	6209 NW 40TH ST BETHANY
R171262710	UNIVERSITY	ATTN: DONALD BILLINGS	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W OF NE/C BLK W164FT S54.5FT E164FT N54.5FT TO BEG	4111 N REDMOND AVE BETHANY
R171262820	UNIVERSITY	C/O DON BILLINGS OFFICE	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E OF NW/C BLK 11 TH E164FT S54.5FT W164FT N54.5FT	4106 N DONALD BETHANY
R171262562	MCANALLY PROPERTIES LLC	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 W73FT N100FT E73FT TO BEG	4200 N WHEELER AVE BETHANY
R171262415	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG AT A PL 243FT S & 30FT W OF NE/C BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6300 NW 41ST ST BETHANY
R170724850	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	005	002	EAST SIDE ADDITION 005 002	4110 N DONALD BETHANY
R171262405	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG 243FT S & 103FT W OF NE/C BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6302 NW 41ST ST BETHANY
R170724700	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	005	001	EAST SIDE ADDITION 005 001	4115 N REDMOND AVE BETHANY
R171262400	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PRT OF BLKS 7 & 10 BEG 243FT S OF NW/C OF BLK 7 S142FT E166FT S50FT E10FT N152FT W176FT TO BEG	4128 N REDMOND AVE BETHANY
R171262592	MCANALLY PROPERTIES LLC	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 N56.66FT OF S113.33FT OF W155FT	4202 N WHEELER AVE BETHANY
R171262595	ROSALVA	GARCIA VICTOR	4204 N WHEELER AVE	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 W155FT OF N56.67FT OF S170FT	4204 N WHEELER AVE BETHANY
R170724105	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 4	4201 N REDMOND AVE BETHANY
R171262575	UNIVERSITY	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 E76FT OF W179FT OF S60FT OF N203FT	6305 NW 41ST ST BETHANY
R171262576	UNIVERSITY	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W100FT OF S60FT OF N203FT	4200 N REDMOND AVE BETHANY

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R171262607	KEESSEE MARY E SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	4206 N WHEELER AVE	BETHANY	OK	73008-2855	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT OF BLK 8 BEG 12FT E & 104.67FT S OF NW/C E&W 143FT AND N&S 52-33FT	4206 N WHEELER AVE BETHANY
R170724100	NAZARENE UNIVERSITY BETHANY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 W50FT LOTS 3 & 4	6405 NW 41ST ST BETHANY
R170724270	NAZARENE COLLEGE SOUTHERN	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E35.5FT LOTS 5 & 6 EXEMPT	6415 NW 41ST ST BETHANY
R170724110	NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 3	4203 N REDMOND AVE BETHANY
R171262570	R & S PROPERTIES LLC	No Data	No Data	4000 NW 48TH ST	OKLAHOMA CITY	OK	73112	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 93FT S & 20FT W OF NE/C FOR BEG TH W86FT S110FT E86FT N110FT TO BEG	6301 NW 41ST ST BETHANY
R171262578	JOHNSON MINDI MARIE	No Data	No Data	6303 NW 41ST ST	BETHANY	OK	73008	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 203FT S & 176FT E OF NW/C BLK 7 TH N110FT E70FT S110FT W70FT TO BEG	6303 NW 41ST ST BETHANY
R171262565	MATE PROPERTIES LLC	No Data	No Data	PO BOX 720244	OKLAHOMA CITY	OK	73172-0244	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 S50FT OF N143FT OF W176FT	4204 N REDMOND AVE BETHANY
R171262572	JOHNSON CLARA LU BRASHER	No Data	No Data	4211 N WHEELER AVE	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 PT BLK DES AS BEG AT PT 43F S AND 20FT W OF NE/C BLK 7 TH W156FT TH S50FT TH E156FT TH N50FT TO BEG	4207 N WHEELER AVE BETHANY
R171262580	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W 1/2 OF S50FT OF N93FT	4206 N REDMOND AVE BETHANY
R170723950	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 S25FT OF LOT 1 & ALL LOT 2 & BEG 12FT N OF SE/C OF LOT 2 THEZFT N15FT W2FT S15FT TO BEG	4205 N REDMOND AVE BETHANY
R171263600	VALLA LLC	No Data	No Data	4400 BRADEN CT	OKLAHOMA CITY	OK	73120	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD PT LOT 15 BEG NE/C LOT 15 TH S295.53FT TH W133.79FT TH N170.8FT TH N126.09FT TH E131.11FT TO BEG	6301 NW 39TH EXPY BETHANY
R171263605	FBL HOLDINGS LLC	No Data	No Data	2330 N HARRISON	SHAWNEE	OK	74804	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD PT LOT 15 BEG 150FT E OF NW/C LOT 15 TH E70.32FT TH S126.09FT TH S170.8FT TH W8.63FT TH N145FT TH W59FT TH N152.62FT TO BEG CONT .28 ACRES MORE OR LESS	No Data

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accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R171263025	SOUTHERN NAZARENE UNIVERSITY	AN OKLAHOMA CORPORATION	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 \$60FT OF N121.66FT OF W150FT	4010 N REDMOND AVE BETHANY
R171263300	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 N61.66FT OF W150FT	4012 N REDMOND AVE BETHANY
R171264400	SMILIN R REALTY LLC	No Data	No Data	11701 HACKNEY LN	YUKON	OK	73098	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 LOT 000 S112FT OF W10FT BLK 9 EX N3FT PLUS BEG 32.5FT N OF SW/C OF BLK 16 TH E100FT N291.91FT W100FT S TO BEG & A PT OF BLK 16 BEG 152FT W & 32.5FT N OF SE/C OF BLK 16 TH N291.91FT TO N LINE OF SD BLK TH W100FT S291.91FT E100FT TO BEG	6229 NW 39TH EXPY BETHANY
R171262870	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S12FT E/2 BLK 11 & E/2 BLK 14 EX S27.5FT PLUS W/2 OF S50FT N100FT BLK 14 & S50FT OF N150FT W176FT BLK 14 & PT W/2 BLK 14 BEG 150FT S OF NW/C BLK 14 TH E150FT S50FT W150FT N50FT TO BEG	6401 NW 39TH EXPY BETHANY
R171262780	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E OF SW/C TH E156FT N34FT W156FT S34FT TO BEG	4014 N DONALD BETHANY
R171262740	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS OFFICE	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 10FT W & 13 1/2FT N OF SW/C BLK 11 W158FT N50FT E158FT S50FT TO BEG	4101 N REDMOND AVE BETHANY
R171262790	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS OFFICE	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E & 34.5FT N OF SW/C BLK 11 E164FT N75FT W164FT S75FT TO BEG	4016 N DONALD AVE BETHANY
R171262690	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 SI09FT OF BLK 10	4100 N REDMOND AVE BETHANY
R171262760	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 10FT W & 63.5FT N OF SE/C TH W158FT TH N50FT TH E158FT TH S50FT TO BEG	4103 N REDMOND AVE BETHANY
R171272955	HRH ENTERPRISES INC	No Data	No Data	PO BOX 23013	OKLAHOMA CITY	OK	73123-2013	COCKRELL PLACE RESUB	009	007	COCKRELL PLACE RESUB 009 007 W50FT	6212 NW 40TH ST BETHANY
R171273000	DAVIS RUSSELL W	No Data	No Data	10225 W HEFNER RD	YUKON	OK	73099-8243	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 E4.7FT LOT 7 & W45.3FT LOT 8	6210 NW 40TH ST BETHANY

Larry Steir  
Oklahoma County  
Office

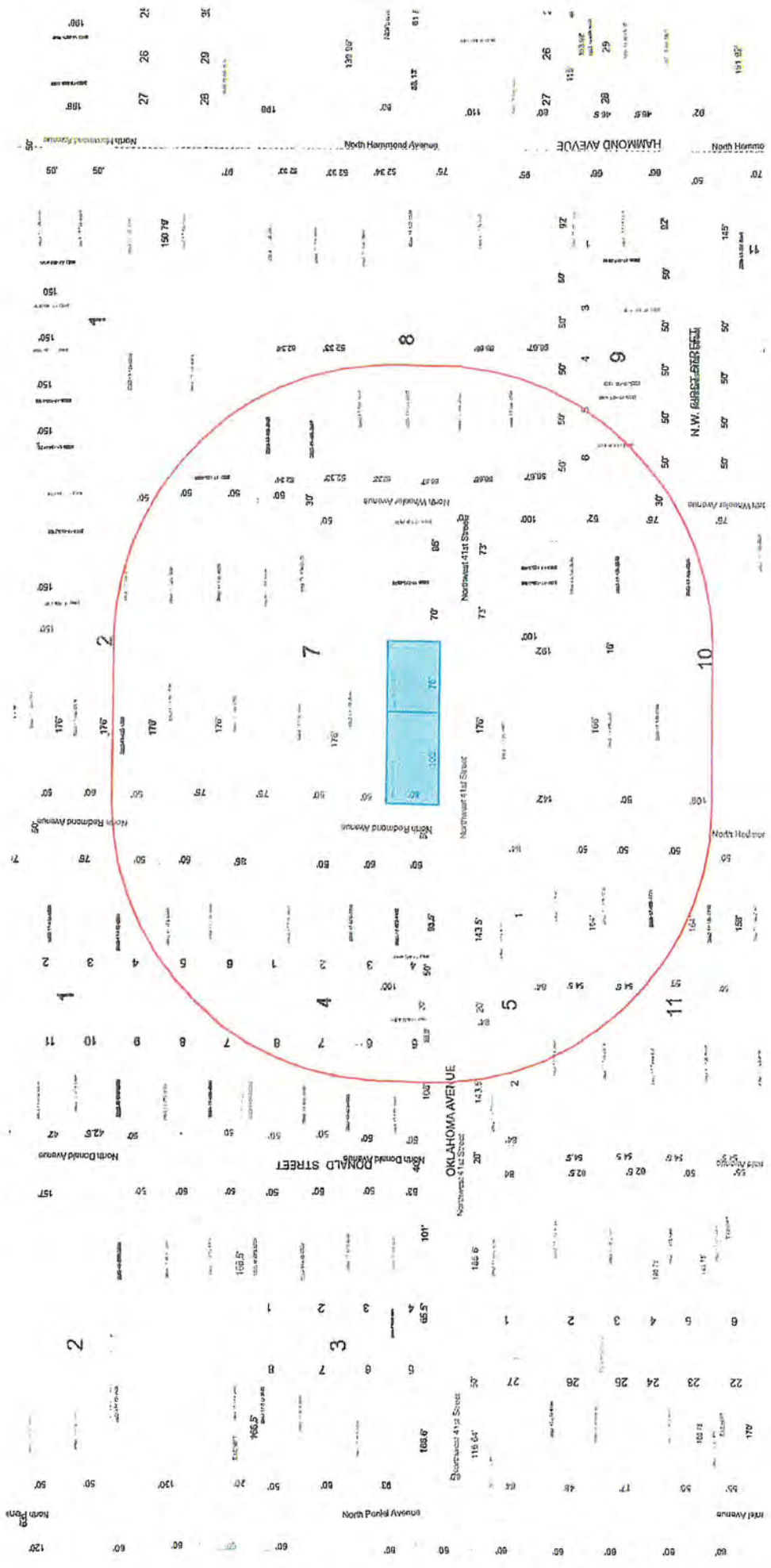
#10. 4200 N.  
Redmond

#15. 6305 NW 41st



## Ownership Radius Report

This Non-Official Report is for Account Numbers [R171262576](#) and [R171262575](#) is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office. **Official Record of this Certified Radius Report will expire 30 days from the date of creation stamped on the back of this sheet.**



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R171262250	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S32FT OF W 1/2 BLK 2 & W 1/2 OF N43FT OF BLK 7	4208 N REDMOND AVE BETHANY
R171262525	JOHNSON CLARA L	JOHNSON JACK	No Data	4211 N WHEELER AVE	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 E 1/2 OF N50FT OF S57FT	4211 N WHEELER AVE BETHANY
R170720655	SOUTHERN NAZARENE UNIVERSITY	C/O PHIL WHITE	No Data	6729 NW EXPRESSWAY	BETHANY	OK	73008	EAST SIDE ADDITION	001	007	EAST SIDE ADDITION 001 007 N50FT OF S56FT	4208 N DONALD AVE BETHANY
R170720450	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	000	000	EAST SIDE ADDITION 000 000 N28FT LOT 1 BLK 4 & LOT 6 BLK 1	4209 N REDMOND AVE BETHANY
R171260305	WALSTAD KENT LEE	WALSTAD KIRSTEN ANN	No Data	4212 N WHEELER AVE	BETHANY	OK	73008-2855	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLK 1 BEG SW/C BLK 1 TH N87FT E201.70FT SELY87.06FT W206FT TO BEG SUBJ TO RD ESMT ON W	4212 N WHEELER AVE BETHANY
R171261850	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S50FT OF E 1/2 OF N270FT	4213 N WHEELER AVE BETHANY
R171261700	SCHLICHER GARY BENJAMIN	No Data	No Data	4210 N REDMOND AVE	BETHANY	OK	73008-2842	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 W176FT OF S75FT OF N295FT	4210 N REDMOND AVE BETHANY
R170720300	NANTZE JEFFREY A & JONATHAN D TRS	REDMOND TRUST	No Data	7513 NW 38TH ST	BETHANY	OK	73008-3240	EAST SIDE ADDITION	001	005	EAST SIDE ADDITION 001 005	4211 N REDMOND AVE BETHANY
R171261200	FALLON HEATHER B	No Data	No Data	4212 N REDMOND AVE	BETHANY	OK	73008-2842	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 BEG 170FT S OF NW/C E178FT S50FT W178FT N50FT	4212 N REDMOND AVE BETHANY
R170720250	MELMAN BENJAMIN	MELMAN CORRIE	No Data	4213 N REDMOND AVE	BETHANY	OK	73008	EAST SIDE ADDITION	001	004	EAST SIDE ADDITION 001 004	4213 N REDMOND AVE BETHANY
R171260320	CITY OF BETHANY	No Data	No Data	PO BOX 219	BETHANY	OK	73008	COCKRELL PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 W12FT OF S157FT BLK 1	0 UNKNOWN BETHANY
R171262150	RAY STEVENS INC	No Data	No Data	3636 NW 63RD ST, Unit A	OKLAHOMA CITY	OK	73116-2011	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 PT BLK BEG 170FT S OF NE/C SD BLK 2 FOR BEG W176FT S50FT E178FT N50FT TO BEG	4215 N WHEELER AVE BETHANY

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R170724280	SOUTHERN NAZARENE UNIVERSITY BETHANY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	006	EAST SIDE ADDITION 004 006 W108FT	4202 N DONALD BETHANY
R170724270	NAZARENE COLLEGE	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E35.5FT LOTS 5 & 6 EXEMPT	6415 NW 41ST ST BETHANY
R170724110	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 3	4203 N REDMOND AVE BETHANY
R171262570	R & S PROPERTIES LLC	No Data	No Data	4000 NW 48TH ST	OKLAHOMA CITY	OK	73112	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 93FT S & 20FT W OF NE/C FOR BEG TH W86FT S110FT E86FT N110FT TO BEG	6301 NW 41ST ST BETHANY
R171262578	JOHNSON MINDI MARIE	No Data	No Data	6308 NW 41ST ST	BETHANY	OK	73008	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 203FT S & 176FT E OF NW/C BLK 7 TH N110FT E70FT S110FT W70FT TO BEG	6303 NW 41ST ST BETHANY
R171262565	NATE PROPERTIES LLC	No Data	No Data	PO BOX 720244	OKLAHOMA CITY	OK	73172-0244	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 S50FT OF N143FT OF W176FT	4204 N REDMOND AVE BETHANY
R171262557	MICHAEL CECIL R	MICHAEL SHELLY JO	No Data	1166 MOOSE RID	YUKON	OK	73099	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD BLK 008 LOT 000 PT OF BLK 8 BEG 12FT E & 52.34FT S OF NW/C TH E143FT S52.33FT W143FT N52.33FT TO BEG	4208 N WHEELER AVE BETHANY
R170724400	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	007	EAST SIDE ADDITION 004 007	4204 N DONALD AVE BETHANY
R171262572	JOHNSON CLARA LU BRASHER	No Data	No Data	4211 N WHEELER AVE	BETHANY	OK	73008-2654	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 PT BLK DES AS BEG AT PT 43F S AND 20FT W OF NE/C BLK 7 TH W156FT TH S50FT TH E156FT TH N50FT TO BEG	4207 N WHEELER AVE BETHANY
R171262580	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W 1/2 OF S50FT OF N93FT	4206 N REDMOND AVE BETHANY
R170723650	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 S25FT OF LOT 1 & ALL LOT 2 & BEG 12FT N OF SE/C OF LOT 2 THE 2FT N15FT W2FT S15FT TO BEG	4205 N REDMOND AVE BETHANY
R171262602	REDWINE KATHERINE NICOLE	No Data	No Data	4210 N WHEELER AVE	BETHANY	OK	73008-2655	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT BLK 8 BEG 12FT E OF NW/C TH E143FT S52.34FT W143FT N52.34FT TO BEG	4210 N WHEELER AVE BETHANY
R171262500	BRASHER MILTONETTE	No Data	No Data	4209 N WHEELER AVE	BETHANY	OK	73008-2654	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S7FT OF E 1/2 OF BLK 2 E 1/2 OF N43FT OF BLK 7	4209 N WHEELER AVE BETHANY
R170724550	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 69TH EXPRESSWAY	BETHANY	OK	73008	EAST SIDE ADDITION	000	000	EAST SIDE ADDITION 000 000 S6FT LOT 7 BLK 1 & ALL LOT 8 BLK 4	4206 N DONALD AVE BETHANY

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R171262582	MCANALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 S56.67FT OF W155FT	4200 N WHEELER AVE BETHANY
R171262415	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG AT A PL 243FT S & 30FT W OF NE/C BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6300 NW 41ST ST BETHANY
R170724650	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	EAST SIDE ADDITION	005	002	EAST SIDE ADDITION 005 002	4110 N DONALD BETHANY
R171262405	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG 243FT S & 103FT W OF NE/C BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6302 NW 41ST ST BETHANY
R170724700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	EAST SIDE ADDITION	005	001	EAST SIDE ADDITION 005 001	4115 N REDMOND AVE BETHANY
R171262400	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG 243FT S OF NW/C OF BLK 7 S142FT E166FT S50FT E10FT N192FT W176FT TO BEG	4128 N REDMOND AVE BETHANY
R171262592	MCANALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 N56.66FT OF S143.33FT OF W155FT	4202 N WHEELER AVE BETHANY
R171260910	RAYMOND GALLEGOS	No Data	No Data	9516 NW 82ND ST	OKLAHOMA CITY OK	73132-4117	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S50FT OF N170FT OF W176FT	4216 N REDMOND AVE BETHANY
R171262595	ROSALVA	No Data	GARCIA VICTOR	4204 N WHEELER AVE	BETHANY	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 W155FT OF N56.67FT OF S170FT	4204 N WHEELER AVE BETHANY
R170724250	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6727 NW 39TH EXPY	BETHANY	73008	EAST SIDE ADDITION	004	005	EAST SIDE ADDITION 004 005 W108FT	4200 N DONALD BETHANY
R170724105	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 4	4201 N REDMOND AVE BETHANY
R171262575	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	73008-2605	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 E76FT OF W176FT OF S60FT OF N203FT	6305 NW 41ST ST BETHANY
R171262576	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W100FT OF S60FT OF N203FT	4200 N REDMOND AVE BETHANY
R171262607	KEESE MARY E	No Data	No Data	4206 N WHEELER AVE	BETHANY	73008-2655	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT OF BLK 8 BEG 12FT E & 104.67FT S OF NW/C E&W 143FT AND N&S 52.33FT	4206 N WHEELER AVE BETHANY
R170724100	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 W50FT LOTS 3 & 4	6405 NW 41ST ST BETHANY

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accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R171262770	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 PT OF BLK 11BEG 10FT W & 113 1/2FT N OF SE/C BLK 11 TH W158FT N50FT	4105 N REDMOND AVE BETHANY
R171262670	TRIMBLE SHERRILL J	No Data	No Data	4101 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 PT BLK 10 COCKRELL PLACE BEG AT A PT 109FT N & 30FT W OF SE/C SD BLK 10 TH W146FT N75F E146FT S75FT TO BEG	4101 N WHEELER AVE BETHANY
R171262700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 109FT N OF SW COR BLK 10 E176FT N109FT W178FT S109FT	4104 N REDMOND AVE BETHANY
R171262720	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 104.5FT S OF NE/C BLK 11 W164FT S59FT E164FT N59FT TO BEG	4107 N REDMOND AVE BETHANY
R171262660	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 184FT N & 30FT W OF SE/C TH W148FT N75FT E148FT S75FT TO BEG	4103 N WHEELER AVE BETHANY
R171262680	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 59FT S OF NW/C TH E166FT S50FT W166FT N50FT TO BEG	4108 N REDMOND AVE BETHANY
R171262730	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 54.5FT S OF NE/C BLK 11 W164FT S50FT E164FT N50FT TO BEG	4109 N REDMOND AVE BETHANY
R171262810	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 54.5FT S OF NW/C BLK 11 S54.5FT E176FT N54.5FT W176FT TO BEG SUBJ TO EASMENTS OF RECORD	4104 N DONALD BETHANY
R171262640	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 259FT N & 30FT W OF SE/C TH W148FT N52FT E146FT S52FT TO BEG	4105 N WHEELER AVE BETHANY
R171271050	BALTZAR MARY ANN	No Data	No Data	6213 NW 40TH ST	BETHANY	OK	73008-2814	COCKRELL PLACE RESUB	009	006	COCKRELL PLACE RESUB 009 006 W50FT	6213 NW 40TH ST BETHANY
R171271040	THE DEAGER FAMILY LIMITED PARTNERSHIP IV	No Data	No Data	8033 NW 16TH ST	OKLAHOMA CITY	OK	73127	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W45.9FT LOT 5 & E4.7FT LOT 6	6211 NW 40TH ST BETHANY
R171262710	SOUTHERN NAZARENE UNIVERSITY	ATTN: DONALD BILLINGS	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W OF NE/C BLK W164FT S54.5FT E164FT N54.5FT TO BEG	4111 N REDMOND AVE BETHANY
R171262820	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS OFFICE	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 20FT E OF NW/C BLK 11 TH E164FT S54.5FT W164FT N54.5FT	4106 N DONALD BETHANY

Larry Stein  
Oklahoma County Clerk  
Office

#11.  
4206 N. Redmond

#12.  
4208 N. Redmond



## Ownership Radius Report

This Non-Official Report is for Account Numbers [R171262580](#) and [R171262580](#) is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office. **Official Record of this Certified Radius Report will expire 30 days from the date of creation stamped on the back of this sheet.**



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R170724550	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 69TH EXPRESSWAY	BETHANY	OK		73008	EAST SIDE ADDITION	000	000	EAST SIDE ADDITION 000 000 S6FT LOT 7 BLK 1 & ALL LOT 8 BLK 4.	4206 N DONALD AVE BETHANY
R171262250	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK		73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S32FT OF W 1/2 BLK 2 & W 1/2 OF N43FT OF BLK 7	4208 N REDMOND AVE BETHANY
R171262525	JOHNSON CLARA L	JOHNSON JACK	No Data	4211 N WHEELER AVE	BETHANY	OK		73008-2854	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 E 1/2 OF N50FT OF S57FT	4211 N WHEELER AVE BETHANY
R170720655	SOUTHERN NAZARENE UNIVERSITY	C/O PHIL WHITE	No Data	6729 NW EXPRESSWAY	BETHANY	OK		73008	EAST SIDE ADDITION	001	007	EAST SIDE ADDITION 001 007 N50FT OF S58FT	4208 N DONALD AVE BETHANY
R170720450	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK		73008-2694	EAST SIDE ADDITION	000	000	EAST SIDE ADDITION 000 000 N28FT LOT 1 BLK 4 & LOT 6 BLK 1	4209 N REDMOND AVE BETHANY
R171260305	WALSTAD KENT LEE	WALSTAD KIRSTEN ANN	No Data	4212 N WHEELER AVE	BETHANY	OK		73008-2855	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLK 1 BEG SW/C BLK 1 TH N87FT E201.70FT SELY87.06FT W206FT TO BEG SUBJ TO RD ESMT ON W	4212 N WHEELER AVE BETHANY
R171261850	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK		73008-2852	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S50FT OF E 1/2 OF N270FT	4213 N WHEELER AVE BETHANY
R171261700	SCHLICHER GARY BENJAMIN	No Data	No Data	4210 N REDMOND AVE	BETHANY	OK		73008-2842	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 W179FT OF S75FT OF N295FT	4210 N REDMOND AVE BETHANY
R170720750	SANCHEZ JORGE VICENTE MENDOZA	GARCIA LAURA JUDITH SOTO	REYES FERNANDA GETSEMANI	4210 N DONALD AVE	BETHANY	OK		73008	EAST SIDE ADDITION	001	008	EAST SIDE ADDITION 001 008	4210 N DONALD AVE BETHANY
R170720300	NANTZE JEFFREY A & JONATHAN D TRS	REDMOND TRUST	No Data	7513 NW 38TH ST	BETHANY	OK		73008-3240	EAST SIDE ADDITION	001	005	EAST SIDE ADDITION 001 005	4211 N REDMOND AVE BETHANY
R171261200	FALLON HEATHER B	No Data	No Data	4212 N REDMOND AVE	BETHANY	OK		73008-2842	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 BEG 170FT S OF NW/C E176FT S50FT W178FT N50FT	4212 N REDMOND AVE BETHANY
R170720900	WRIGHT KEITH	WRIGHT SUSIE	No Data	4212 N DONALD AVE	BETHANY	OK		73008-2724	EAST SIDE ADDITION	001	009	EAST SIDE ADDITION 001 009	4212 N DONALD AVE BETHANY
R170720250	MELMAN BENJAMIN	MELMAN CORRIE	No Data	4213 N REDMOND AVE	BETHANY	OK		73008	EAST SIDE ADDITION	001	004	EAST SIDE ADDITION 001 004	4213 N REDMOND AVE BETHANY
R171260320	CITY OF BETHANY	No Data	No Data	PO BOX 219	BETHANY	OK		73008	COCKRELL PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 W12FT OF S157FT BLK 1	UNKNOWN BETHANY
R171260308	RANDELL DONALD RAY & BRENDA JOYCE	No Data	No Data	4214 NW WHEELER AVE	BETHANY	OK		73008	COCKRELL PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 PT OF BLK 1 BEG 25FT E & 70.01FT N & 18.57FT NE ON A CURVE FROM SW/C BLK 1 TH NELY ALONG A CURVE .81FT NLY ALONG A CURVE 80.14FT E174.14FT SELY70.13FT W170.12FT TO BEG CONT .2574ACRS MORE OR LESS	4214 N WHEELER AVE BETHANY
R171262150	RAY STEVENS INC	No Data	No Data	3636 NW 63RD ST, Unit A	OKLAHOMA CITY	OK		73116-2011	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 PT BLK BEG 170FT S OF NE/C SD BLK 2 FOR BEG W176FT S50FT E176FT N60FT TO BEG	4215 N WHEELER AVE BETHANY

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R171260910	RAMPERSAD RAYMOND	No Data	No Data	8516 NW 82ND ST	OKLAHOMA CITY	OK	73132-4117	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S50FT OF N170FT OF W178FT	4216 N REDMOND AVE
R170720200	SERNA ABREL	No Data	No Data	4217 N REDMOND AVE	BETHANY	OK	73008	EAST SIDE ADDITION	001	000	EAST SIDE ADDITION 001 000 S 1/2 OF LOT 2 & ALL OF LOT 3	BETHANY
R170721200	WHITE JEFFERSON & RONDA	No Data	No Data	4216 N DONALD AVE	BETHANY	OK	73008-2724	EAST SIDE ADDITION	001	000	EAST SIDE ADDITION 001 000 N7 1/2FT OF LOT 10 & S35FT LOT 11	4216 N DONALD AVE
R171260900	FREEMAN CURTIS & SARAH	No Data	No Data	4602 N ROCKWELL AVE	BETHANY	OK	73008	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S50FT OF N120FT OF W178FT	4218 N REDMOND AVE
R171260225	MARTINDALE STEVEN BOOZER	MARTINDALE AMANDA JEAN	No Data	3600 LINDA AVE	OKLAHOMA CITY	OK	73112	COCKRELL PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 E50FT OF W150FT OF N170FT	6208 NW 42ND ST
R171260150	HAHN ROBERT	No Data	No Data	6212 NW 42ND ST	BETHANY	OK	73008-2803	COCKRELL PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 E50FT OF W100FT OF N170FT	6210 NW 42ND ST
R171260125	HAHN ROBERT	No Data	No Data	6212 NW 42ND ST	BETHANY	OK	73008-2803	COCKRELL PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 W56FT OF N170FT	6212 NW 42ND ST
R171262110	HAHN ROBERT	No Data	No Data	6212 NW 42ND ST	BETHANY	OK	73008-2803	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 BEG AT N/C BLK 2 TH W40FT S150FT E40FT N150FT TO BEG	6214 NW 42ND ST
R171262100	MCANALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 PT OF BLK 2 BEG 40FT W OF N/C BLK 2 TH S150FT W81FT N150FT E81FT TO BEG SUBJ TO ESMTS OF RECORD	6216 NW 42ND ST
R171262200	SPEEGLE MIKE & SHARON REV TRUST	No Data	No Data	5205 NW 120TH ST	OKLAHOMA CITY	OK	73162-1784	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S150FT OF W55FT OF N170FT OF E178FT	6300 NW 42ND ST
R171260600	FREEMAN SARAH A & CURTIS	No Data	No Data	4220 N REDMOND AVE	BETHANY	OK	73008-2842	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 BEG 20FT S OF NW/C BLK 2 E178FT S50FT W178FT N50FT TO BEG	4220 N REDMOND AVE
R170720150	OMAN JONATHAN & ASHLEE DON	No Data	No Data	4219 N REDMOND AVE	BETHANY	OK	73008	EAST SIDE ADDITION	001	000	EAST SIDE ADDITION 001 000 LOT 1 & N 1/2 LOT 2	4219 N REDMOND AVE
R171262595	GALLEGOS ROSALVA	GARCIA VICTOR	No Data	4204 N WHEELER AVE	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 W155FT OF N56.67FT OF S170FT	4204 N WHEELER AVE
R170724250	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6727 NW 39TH EXPY	BETHANY	OK	73008	EAST SIDE ADDITION	004	005	EAST SIDE ADDITION 004 005 W108FT	4200 N DONALD AVE
R170724105	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 4	4201 N REDMOND AVE
R171262575	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 E76FT OF W176FT OF S60FT OF N203FT	6305 NW 41ST ST
R171262576	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W100FT OF S60FT OF N203FT	4200 N REDMOND AVE
R171262607	KEESSEE MARY E	No Data	No Data	4206 N WHEELER AVE	BETHANY	OK	73008-2855	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT OF BLK 8 BEG 12FT E & 104.67FT S OF NW/C E&W 149FT AND N&S 52.33FT	4206 N WHEELER AVE

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R170724100	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 W60FT LOTS 3 & 4	6405 NW 41ST ST BETHANY
R170724280	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	006	EAST SIDE ADDITION 004 006 W108FT	4202 N DONALD BETHANY
R170724270	NAZARENE COLLEGE	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E35.5FT LOTS 5 & 6 EXEMPT	6415 NW 41ST ST BETHANY
R170724110	NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 3	4203 N REDMOND AVE BETHANY
R171262570	R & S PROPERTIES LLC	No Data	No Data	4000 NW 48TH ST	OKLAHOMA CITY	OK	73112	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 99FT S & 20FT W OF NE/C FOR BEG TH W66FT S110FT E86FT N110FT TO BEG	6301 NW 41ST ST BETHANY
R171262578	JOHNSON MINDI MARIE	No Data	No Data	6303 NW 41ST ST	BETHANY	OK	73008	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 203FT S & 176FT E OF NW/C BLK 7 TH N110FT E70FT S110FT W70FT TO BEG	6303 NW 41ST ST BETHANY
R171262565	NATE PROPERTIES LLC	No Data	No Data	PO BOX 720244	OKLAHOMA CITY	OK	73172-0244	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 S50FT OF N143FT OF W176FT	4204 N REDMOND AVE BETHANY
R171262597	MICHAEL CECIL R	JO	MICHAEL SHELLY	1166 MOOSE RD	YUKON	OK	73099	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD BLK 008 LOT 000 PT OF BLK 8 BEG 12FT E & 52.34FT S OF NW/C TH E143FT S52.33FT W143FT N52.33FT TO BEG	4208 N WHEELER AVE BETHANY
R170724400	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	007	EAST SIDE ADDITION 004 007	4204 N DONALD AVE BETHANY
R171262572	JOHNSON CLARA LU BRASHER	No Data	No Data	4211 N WHEELER AVE	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 PT BLK DES AS BEG AT PT 43F S AND 20FT W OF NE/C BLK 7 TH W156FT TH S80FT TH E156FT TH N50FT TO BEG	4207 N WHEELER AVE BETHANY
R171262580	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W 1/2 OF S50FT OF N93FT	4206 N REDMOND AVE BETHANY
R170723950	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 S25FT OF LOT 1 & ALL LOT 2 & BEG 12FT N OF SE/C OF LOT 2 THE 2FT N15FT W2FT S15FT TO BEG	4206 N REDMOND AVE BETHANY
R171262602	REDWINE KATHERINE NICOLE	No Data	No Data	4210 N WHEELER AVE	BETHANY	OK	73008-2855	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT BLK 8 BEG 12FT E OF NW/C TH E143FT S52.34FT W149FT N52.34FT TO BEG	4210 N WHEELER AVE BETHANY
R171262500	BRASHER MILTONETTE	No Data	No Data	4209 N WHEELER AVE	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 57FT OF E 1/2 OF BLK 2 E 1/2 OF N43FT OF BLK 7	4209 N WHEELER AVE BETHANY

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accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R171262660	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 184FT N & 30FT W OF SE/C TH W146FT N75FT E146FT S75FT TO BEG	4103 N WHEELER AVE BETHANY
R171262680	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 59FT S OF NW/C TH E166FT S50FT W166FT N50FT TO BEG	4108 N REDMOND AVE BETHANY
R171262730	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 54.5FT S OF NE/C BLK 11 W164FT S50FT E164FT N50FT TO BEG	4109 N REDMOND AVE BETHANY
R171262640	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 259FT N & 30FT W OF SE/C TH W146FT N52FT E146FT S52FT TO BEG	4105 N WHEELER AVE BETHANY
R171271050	BALTAZAR MARY ANN	No Data	No Data	6213 NW 40TH ST	BETHANY	OK	73008-2814	COCKRELL PLACE RESUB	009	006	COCKRELL PLACE RESUB 009 006 W50FT	6213 NW 40TH ST BETHANY
R171262710	SOUTHERN NAZARENE UNIVERSITY	ATTN: DONALD BILLINGS	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W OF NE/C BLK W164FT S54.5FT E164FT N54.5FT TO BEG	4111 N REDMOND AVE BETHANY
R171262582	MCANALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 S56.67FT OF W155FT	4200 N WHEELER AVE BETHANY
R170724850	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	005	002	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG AT A PL 243FT S & 30FT W OF NE/C BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6300 NW 41ST ST BETHANY
R171262405	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG 243FT S & 103FT W OF NE/C BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6302 NW 41ST ST BETHANY
R170724700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	005	001	EAST SIDE ADDITION 005 001	4115 N REDMOND AVE BETHANY
R171262400	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PRT OF BLKS 7 & 10 BEG 243FT S OF NW/C OF BLK 7 S142FT E166FT S50FT E10FT N192FT W176FT TO BEG	4128 N REDMOND AVE BETHANY
R171262592	MCANALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 N56.66FT OF S113.33FT OF W155FT	4202 N WHEELER AVE BETHANY
R170721050	WHITE JEFFERSON B & RONDA J	No Data	No Data	4214 N DONALD AVE	BETHANY	OK	73008-2724	EAST SIDE ADDITION	001	010	EAST SIDE ADDITION 001 010 S42 1/2FT	4214 N DONALD AVE BETHANY

Larry Stein  
Oklahoma County A  
Office

JAN 21 2035



- #3. 4302 N. Peniel
- #4. 4304 N. Peniel
- #6. 4307 N. ~~Peniel~~  
Donald
- #5. 4305 N. Donald

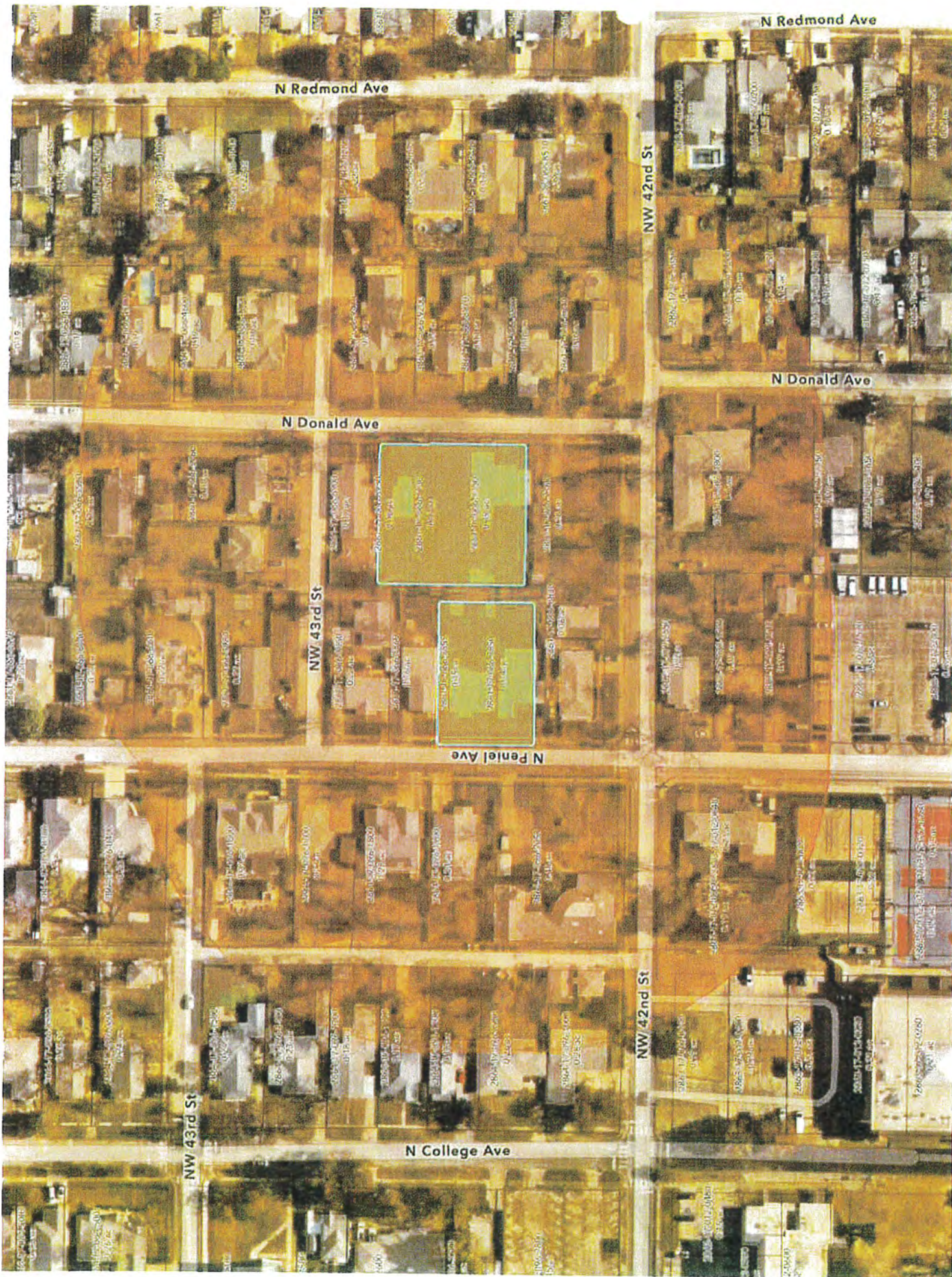
## Ownership Radius Report

This Official Report is for Account Number RR170667850 & R170667855 & R170667130 & R170667350 and is a 300-foot radius from the outside of the polygon.

**DIGITAL COPIES ARE NOT PROVIDED BY THIS OFFICE.**

If the minimum number of different owners was not reached from the initial search the radius for this report was extended by 100-foot increments until the required number of different owners is included, or the maximum distance has been met. This report does not constitute a legal survey or document. Definitive descriptions of real property and ownership can be obtained from the official recorded documents in the Oklahoma County Clerk's Office.

**The Official Certified Radius Report will expire 30 days from the date of creation stamp and seal.**



Oklahoma County Assessor's  
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R170668740	ENGLE MICHAEL MORSCH VICKIE A TRS	ENGLE AMY KATHLEEN MORSCH VICKIE TRUST	CULP BOBBIE	4300 N DONALD AVE 14996 W 130TH ST	BETHANY	OK	73008-2726	DAVIS SUB BETHANY 005 005 S50FT NORTH SIDE ADDITION BLK 002 LOT 5 000 S70FT OF LOT 5 EX S10FT	5	5	4300 N DONALD AVE BETHANY
R170665750	SIMMONS DUANE F CO TRS ETAL	SIMMONS DUANE F SIMMONS BONITA REV TRUST		6406 NW 30TH ST 1620 N ANN ARBOR AVE	BETHANY	OK	73008-4146	DAVIS SUB BETHANY 003 000 0 W54.5FT OF LOTS 3 & 4	3	3	6503 NW 43RD ST BETHANY
R170665980	CHAPMAN GARY S			1620 N ANN ARBOR AVE	OKLAHOMA CITY	OK	73127-3921	DAVIS SUB BETHANY 003 005	3	3	4400 N PENIEL AVE BETHANY
R170665760	CLANIN JUSTIN & LAUREN			4401 N DONALD AVE	BETHANY	OK	73008	DAVIS SUB BETHANY 003 000 E80.5FT LOTS 3 & 4	3	0	4401 N DONALD AVE BETHANY
R170664370	ADAMS GWEN TRS ETAL	ADAMS VIKI L TRS	ADAMS GWEN FAMILY TRUST	4400 N DONALD AVE	BETHANY	OK	73008-2728	DAVIS SUB BETHANY 002 005 S55FT	2	5	4400 N DONALD AVE BETHANY
R170722550	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION 002 000 N67FT OF W166.5FT	2	0	4218 N PENIEL AVE BETHANY
R170721800	SOUTHERN NAZARENE UNIVERSITY	C/O DR DON BILLINGS		6727 NW 39TH EXPY	BETHANY	OK	73008	EAST SIDE ADDITION 002 000 N157FT OF E 1/2	2	0	4219 N DONALD AVE BETHANY
R170661600	HISLE NATALIE BETHANY NAZARENE COLLEGE			4311 N PENIEL AVE	BETHANY	OK	73008-2743	NORTH SIDE ADDITION 002 000 LOT 5 0 EX 570FT	2	0	4311 N PENIEL AVE BETHANY
R170120040	CARPENTER DERENCE REESE & JENNIFER SMART			6729 NW 39TH EXPY	BETHANY	OK	73008-2605	BETHANY CITY ADD 001 000 LOTS 1 & 0 1/2 EX W70FT EXEMPT	1	0	4217 N PENIEL AVE BETHANY
R170664600	GOODWIN BONNI GEORGEANNE			4402 N DONALD AVE	BETHANY	OK	73008-2728	DAVIS SUB BETHANY 002 000 N17.5FT OF LOT 5 & S37 1/2FT LOT 6	2	0	4402 N DONALD AVE BETHANY
R170721350	GARRISON WILLIAM BRIAN SOUTHERN NAZARENE UNIVERSITY	HAMMONS ASHLEY ELIZABETH		4218 N DONALD AVE	BETHANY	OK	73008	EAST SIDE ADDITION 001 000 N 1/2 0 LESS S10FT LOT 11 & ALL LOT 12	1	0	4218 N DONALD AVE BETHANY
R170666210	GARRISON WILLIAM BRIAN SOUTHERN NAZARENE UNIVERSITY			4402 N PENIEL AVE	BETHANY	OK	73008	DAVIS SUB BETHANY 003 006	3	6	4402 N PENIEL AVE BETHANY
R170721500	FARROW ELIZABETH RACHELLE	FARROW ELIZABETH RACHELLE		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION 002 000 S50FT OF N107FT OF W 1/2	2	0	4216 N PENIEL AVE BETHANY
R170666510	JONATHAN WADE			4301 N REDMOND AVE	BETHANY	OK	73008-2843	DAVIS SUB BETHANY 005 000 LOT 3 0 EX N50FT & ALL LOT 4	5	0	4301 N REDMOND AVE BETHANY
R170666490	HOLT PHILLIP	HOLT JENNIFER		4303 N REDMOND AVE	BETHANY	OK	73008-2843	DAVIS SUB BETHANY 005 000 N50FT LOT 3 & S5FT LOT 2	5	0	4303 N REDMOND AVE BETHANY
R170666280	WAGONER CORY REESE & JACQUELYN L SOUTHERN NAZARENE UNIVERSITY	WAGONER SARAH		4309 N REDMOND AVE	BETHANY	OK	73008-2843	DAVIS SUB BETHANY 005 001	5	1	4309 N REDMOND AVE BETHANY
R170666290	QUALLS KYLE			4305 N REDMOND AVE	BETHANY	OK	73008	DAVIS SUB BETHANY 005 000 LOT 2 0 EX 55FT	5	0	4305 N REDMOND AVE BETHANY
R170120050	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	BETHANY CITY ADD 001 000 W70FT OF LOTS 1 & 2	1	0	6608 NW 42ND ST BETHANY

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accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R170667880	SOUTHERN NAZARENE UNIVERSITY			6729 NW EXPRESSWAY	BETHANY	OK	73008	DAVIS SUB BETHANY	4	5	DAVIS SUB BETHANY 004 005 E35FT	6507 NW 42ND ST BETHANY
R170667820	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	0	DAVIS SUB BETHANY 004 000 W100FT 0 OF LOT 5	6511 NW 42ND ST BETHANY
R170667360	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	0	DAVIS SUB BETHANY 004 000 LOT 4 & 0 S12.5FT LOT 3	4301 N DONALD BETHANY
R170667850	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	6	DAVIS SUB BETHANY 004 006 S45FT	4302 N PENIEL AVE BETHANY
R170667350	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	0	DAVIS SUB BETHANY 004 000 S1FT OF LOT 2 N60FT OF LOT 3	4305 N DONALD AVE BETHANY
R170667855	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2605	DAVIS SUB BETHANY	4	0	DAVIS SUB BETHANY 004 000 N27FT LOT 6 & S22FT LOT 7	4304 N PENIEL AVE BETHANY
R170667130	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	2	DAVIS SUB BETHANY 004 002 N50FT 2 OF S51FT	4307 N DONALD AVE BETHANY
R170667860	MORADI MORRIS M			4306 N PENIEL AVE	BETHANY	OK	73008-2744	DAVIS SUB BETHANY	4	7	DAVIS SUB BETHANY 004 007 N50FT	4306 N PENIEL AVE BETHANY
R170666950	EVERITT CURTIS W			4309 N DONALD AVE	BETHANY	OK	73008-2725	DAVIS SUB BETHANY	4	0	DAVIS SUB BETHANY 004 000 S18.5FT 0 OF LOT 1 & N21.5FT LOT 2	4309 N DONALD AVE BETHANY
R170666900	STIVERS KATRINA			1328 NW 92ND ST	OKLAHOMA CITY	OK	73114	DAVIS SUB BETHANY	4	1	DAVIS SUB BETHANY 004 001 N54FT	4311 N DONALD AVE BETHANY
R170668050	COX STEVEN TRS	COX PAULETTE NARUE TESTAMENTARY TRUST		962 TURKEY HOLLOW TRL	PIEDMONT	OK	73078	DAVIS SUB BETHANY	4	8	DAVIS SUB BETHANY 004 008	4308 N PENIEL AVE BETHANY
R170662050	HISLE NATALIE			4311 N PENIEL AVE	BETHANY	OK	73008-2743	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION 002 000 LOTS 0 8 & 9	6601 NW 42ND ST BETHANY
R170961900	TOMPKINS RONALD S & DARLA			4305 N PENIEL AVE	BETHANY	OK	73008-2743	NORTH SIDE ADDITION	2	7	NORTH SIDE ADDITION 002 007	4305 N PENIEL AVE BETHANY
R170668800	DAWKINS BRETT EMIAN	DAWKINS DIANNE LEE		4302 N DONALD AVE	BETHANY	OK	73008-2726	DAVIS SUB BETHANY	5	0	DAVIS SUB BETHANY 005 000 N22 1/2FT OF LOT 5 & S30 1/2FT OF LOT 6	4302 N DONALD AVE BETHANY
R170668970	DANEL JASON			1524 PEMBROKE DR	EDMOND	OK	73003-2759	DAVIS SUB BETHANY	5	0	DAVIS SUB BETHANY 005 000 N42FT 0 OF LOT 6	4304 N DONALD AVE BETHANY
R170669200	ESTEP RANDY	ESTEP TERESA		4306 N DONALD AVE	BETHANY	OK	73008-2726	DAVIS SUB BETHANY	5	0	DAVIS SUB BETHANY 005 000 S48.5FT 0 OF LOT 7	4306 N DONALD AVE BETHANY
R170669430	SMART KENNETH G & HOLLY J			4310 N DONALD AVE	BETHANY	OK	73008-2726	DAVIS SUB BETHANY	5	0	DAVIS SUB BETHANY 005 000 N24FT LOT 7 & ALL LOT 8	4310 N DONALD AVE BETHANY
R170961800	LAMB JEREMY B & LAURIE ANN			4307 N PENIEL ST	BETHANY	OK	73008	NORTH SIDE ADDITION	2	6	NORTH SIDE ADDITION BLK 002 LOT 000 LOT 6 & S10FT OF LOT 5	4307 N PENIEL AVE BETHANY

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R170664700	WESTMORELAND KELLY P		4404 N DONALD AVE	BETHANY	OK	73008-2728	DAVIS SUB BETHANY	2	0	DAVIS SUB BETHANY 002 000 N35FT LOT 6 & S25FT LOT 7	4404 N DONALD AVE BETHANY
R170664140	HIGGINBOTHAM DANIELLE C	HIGGINBOTHAM JACOB M	9 THAYER RD	COLORADO SPRINGS	CO	80906	DAVIS SUB BETHANY	2	4	DAVIS SUB BETHANY 002 004	4401 N REDMOND AVE BETHANY
R170960900	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2	1	NORTH SIDE ADDITION 002 001 N70FT OF S145FT	4304 N COLLEGE AVE BETHANY
R170961000	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION 002 000 S75FT OF LOT 1	4300 N COLLEGE AVE BETHANY
R170961200	BROWN JAMES R OR JAMIL TRS	BROWN TRUST	6701 STINCHCOMB DR	OKLAHOMA CITY	OK	73132-3712	NORTH SIDE ADDITION	2	1	NORTH SIDE ADDITION 002 000 BEG 145FT N OF SW/C LOT 1 TH N50FT E160FT S50FT W160FT	4306 N COLLEGE AVE BETHANY
R170721200	WHITE JEFFERSON & RONDA		4216 N DONALD AVE	BETHANY	OK	73008-2724	EAST SIDE ADDITION	1	0	EAST SIDE ADDITION 001 000 N7 1/2FT OF LOT 10 & S35FT LOT 11	4216 N DONALD AVE BETHANY
R170961100	DIFEE GAGE CHRISTIAN		4308 N COLLEGE AVE	BETHANY	OK	73008	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION BLK 002 LOT 000 PT OF LOT 1 BEG 195FT N OF SW/C LT 1 TH N47.5FT E160FT S47.5FT W160FT TO BEG	4308 N COLLEGE AVE BETHANY
R170961300	HUBBERT LISA G	HUBBERT TANNER JAMES	4310 N COLLEGE AVE	BETHANY	OK	73008	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION 002 000 N2FT 0.6IN OF LOT 1 & S47FT 6IN OF LOT 2	4310 N COLLEGE AVE BETHANY
R170721510	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	2	0	EAST SIDE ADDITION 002 000 S50FT OF N157FT OF W 1/2	4214 N PENIEL AVE BETHANY
R170665520	CARPENTER DERENCE R & JENNIFER S		4405 N DONALD AVE	BETHANY	OK	73008-2727	DAVIS SUB BETHANY	3	0	DAVIS SUB BETHANY 008 000 S7 1/2FT OF LOT 1 & ALL LOT 2	4405 N DONALD AVE BETHANY
R170961400	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION 002 000 LOT 3 PLUS N2.6FT LOT 2	4312 N COLLEGE AVE BETHANY
R170666440	TRACY PROPERTIES LLC	4406 PENIEL AVE SERIES	6816 S WESTMINSTER RD	OKLAHOMA CITY	OK	73150	DAVIS SUB BETHANY	3	7	DAVIS SUB BETHANY 003 007	4406 N PENIEL AVE BETHANY
R170664000	LYNCH SHANNON E & JOHN D		4403 N REDMOND AVE	BETHANY	OK	73008-2882	DAVIS SUB BETHANY	2	3	DAVIS SUB BETHANY 002 003	4403 N REDMOND AVE BETHANY
R170721050	WHITE JEFFERSON B & RONDA J		4214 N DONALD AVE	BETHANY	OK	73008-2724	EAST SIDE ADDITION	1	10	EAST SIDE ADDITION 001 010 S42 1/2FT	4214 N DONALD AVE BETHANY
R170120080	BETHANY NAZARENE COLLEGE		6729 NW 39TH EXPY	BETHANY	OK	73008	BETHANY CITY ADD	1	0	BETHANY CITY ADD 001 000 LOT 3 EXEMPT	4211 N PENIEL AVE BETHANY
R170120440	BETHANY NAZARENE COLLEGE		6729 NW 39TH EXPY	BETHANY	OK	73008	BETHANY CITY ADD	1	12	BETHANY CITY ADD 001.012 EXEMPT	4210 N COLLEGE AVE BETHANY
R170664630	PEREZ YEHE		4406 N DONALD AVE	BETHANY	OK	73008-2728	DAVIS SUB BETHANY	2	0	DAVIS SUB BETHANY 002 000 N47 1/2FT OF LOT 7 & S12 1/2FT OF LOT 8	4406 N DONALD AVE BETHANY

Larry Stein  
Oklahoma County A  
Office

#1  
4312 N. College  
Ave

#2  
4314 N. College  
Ave

JAN 21 2020



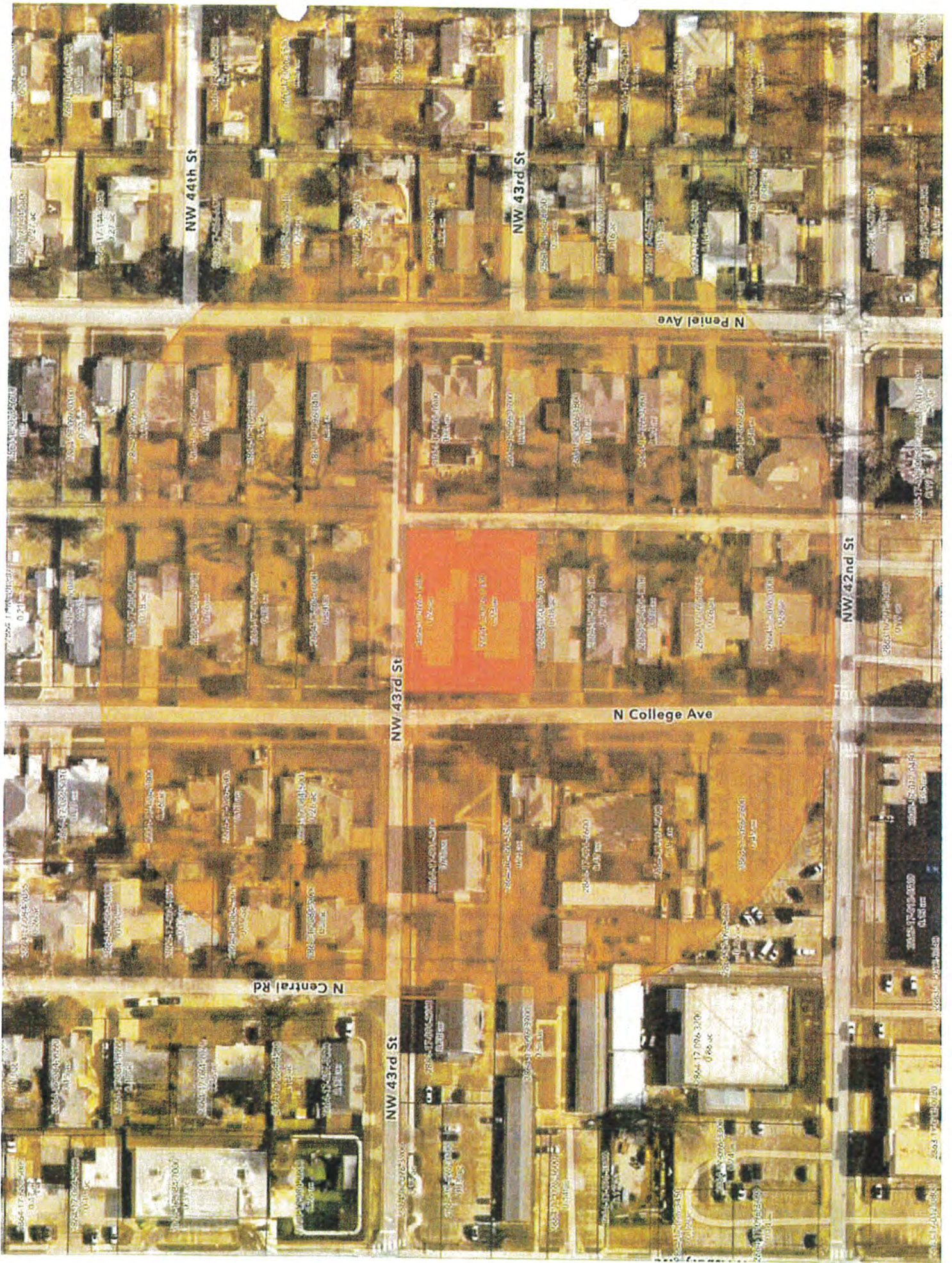
## Ownership Radius Report

This Official Report is for Account Number R170961400 & R170961500 and is a 300-foot radius from the outside of the polygon.

**DIGITAL COPIES ARE NOT PROVIDED BY THIS OFFICE.**

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**The Official Certified Radius Report will expire 30 days from the date of creation stamp and seal.**



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R170960300	COX WILLIAM E & AMY M		4407 N PENIEL AVE	BETHANY	OK	73008-2745	NORTH SIDE ADDITION	1	0	NORTH SIDE ADDITION 001.000 S52FT 0 OF LOT 2 & N3FT LOT 3	4407 N PENIEL AVE BETHANY
R170962700	BETHANY NAZARENE COLLEGE		6729 NW 39TH EXPY	BETHANY	OK	73008-2605	NORTH SIDE ADDITION	3	0	NORTH SIDE ADDITION 003.000 N42FT OF LOT 6 EX S30FT OF W50FT 0 EXEMPT	4305 N COLLEGE AVE BETHANY
R170845003	PALMER ARTHUR N & FAYE M CO TRS	PALMER REV LIVING TRUST	4403 N COLLEGE AVE	BETHANY	OK	73008	STATE SCHOOL LAND ACRES	9	0	STATE SCHOOL LAND ACRES 009.000 PT OF BLK 9 BEG 30FT W OF SE/C BLK 9 TH N152FT W112.5FT S152FT E112.5FT TO BEG EX S102FT	4403 N COLLEGE AVE BETHANY
R170960900	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2	1	NORTH SIDE ADDITION 002.001 1 N70FT OF S145FT	4304 N COLLEGE AVE BETHANY
R170962050	HISLE NATALIE LJUNSTRA		4311 N PENIEL AVE	BETHANY	OK	73008-2743	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION 002.000 LOTS 0 8 & 9	6601 NW 42ND ST BETHANY
R170960700	BENNETTE G & JERRY S CO TRS	LJUNSTRA FAMILY TRUST	3737 N COLLEGE AVE, Unit 130	BETHANY	OK	73008	NORTH SIDE ADDITION	1	5	NORTH SIDE ADDITION 001.005 S70FT	4404 N COLLEGE AVE BETHANY
R170960200	SPRUILL MELODY	KELLY HARRY & EDITH	4409 N PENIEL AVE	BETHANY	OK	73008-2745	NORTH SIDE ADDITION	1	0	NORTH SIDE ADDITION 001.000 LOT 1 0 A & N3FT LOT 2	4409 N PENIEL AVE BETHANY
R170845000	BADER SAMUELA	BADER TEDDY F	2825 S KING ST APT 1002	HONOLULU	HI	96826-3513	STATE SCHOOL LAND ACRES	9	0	STATE SCHOOL LAND ACRES 009.000 BEG 142.5FT W & 10FT N OF SE/C BLK 9 TH N77FT W112.5FT S77FT E112.5FT TO BEG	4400 N CENTRAL RD BETHANY
R170962800	BETHANY NAZARENE COLLEGE		PO BOX 389	BETHANY	OK	73008	NORTH SIDE ADDITION	3	0	NORTH SIDE ADDITION 003.000 S8FT OF E158FT LOT 6 & E158FT OF LOTS 7 & 8 EXEMPT	6705 NW 42ND ST BETHANY
R170842000	HAYES FAMILY TRUST		7536 W FORDSON DR	OKLAHOMA CITY	OK	73127-3240	STATE SCHOOL LAND ACRES	9	0	STATE SCHOOL LAND ACRES 009.000 BEG 160FT N & 30FT W OF SE/C BLK 9 TH N100FT W112.5FT S100FT E112.5FT TO BEG OR TR 3 OF BLK 9	4405 N COLLEGE AVE BETHANY
R170845020	SWEAT KARI		4404 N CENTRAL RD	BETHANY	OK	73008-2624	STATE SCHOOL LAND ACRES	9	0	STATE SCHOOL LAND ACRES 009.000 BEG 142.5FT W & 87FT N OF SE/C OF BLK 9 TH N75FT W112.5FT S75FT E112.5FT TO BEG	4404 N CENTRAL RD BETHANY
R170961000	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2	0	NORTH SIDE ADDITION 002.000 S75FT 0 OF LOT 1	4300 N COLLEGE AVE BETHANY
R170668050	COX STEVEN TRS	COX PAULETTE NARUE TESTAMENTARY TRUST	962 TURKEY HOLLOW TRL	PIEDMONT	OK	73078	DAVIS SUB BETHANY	4	8	DAVIS SUB BETHANY 004.008	4308 N PENIEL AVE BETHANY
R170665980	CHAPMAN GARY S	HAMMONS ASHLEY ELIZABETH	1620 N ANN ARBOR AVE	OKLAHOMA CITY	OK	73127-3921	DAVIS SUB BETHANY	3	5	DAVIS SUB BETHANY 003.005	4400 N PENIEL AVE BETHANY
R170666210	GARRISON WILLIAM BRIAN		4402 N PENIEL AVE	BETHANY	OK	73008	DAVIS SUB BETHANY	3	6	DAVIS SUB BETHANY 003.006	4402 N PENIEL AVE BETHANY
R170960750	WIZ PROPERTIES LLC		1616 CREEKSIDE DR	CORINTH	TX	76210	NORTH SIDE ADDITION	1	5	NORTH SIDE ADDITION 001.005 N50FT	4406 N COLLEGE AVE BETHANY

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R170960150	MERCERTOM J & SUSAN M CO TRS	MERCERTOM J & SUSAN M CO TRS	4501 N PENIEL AVE	BETHANY	OK	73008-2747	NORTH SIDE ADDITION	1	1	1	NORTH SIDE ADDITION 001 001 S60FT	4501 N PENIEL AVE
R170667860	MORADI MORRIS M		4306 N PENIEL AVE	BETHANY	OK	73008-2744	DAVIS SUB BETHANY	4	7	7	DAVIS SUB BETHANY 004 007 N50FT	4306 N PENIEL AVE
R170666440	TRACY PROPERTIES LLC SOUTHERN NAZARENE UNIVERSITY	4406 PENIEL AVE SERIES	6816 S WESTMINSTER RD	OKLAHOMA CITY	OK	73150	DAVIS SUB BETHANY	3	7	7	DAVIS SUB BETHANY 003 007	4406 N PENIEL AVE
R170667855			6729 NW 39TH EXPY	BETHANY	OK	73008-2605	DAVIS SUB BETHANY	4	0	0	DAVIS SUB BETHANY 004 000 N27FT LOT 6 & S22FT LOT 7	4304 N PENIEL AVE
R170841050	BAYLES MELANIE		4406 N CENTRAL RD	BETHANY	OK	73008-2624	STATE SCHOOL LAND ACRES	9	0	0	STATE SCHOOL LAND ACRES 009 000 BEG 142.5FT W & 225FT S OF NE/C OF BLK 9 TH W112.5FT S50FT E112.5FT 0 N50FT TO BEG	4406 N CENTRAL RD
R170963200	OKLA COUNTY UTILITY	SERVICES AUTHORITY		Unknown	NO		NORTH SIDE ADDITION	3	0	0	NORTH SIDE ADDITION 003 000 S30FT OF W50FT OF LOT 6 & W50FT OF LOTS 0 17 & 8 & ALL LOTS 9 & 10 EXEMPT	0 UNKNOWN BETHANY
R170666670	RICOS LUJIS & MARIA GRACIELA SOUTHERN NAZARENE UNIVERSITY		4408 N PENIEL AVE	BETHANY	OK	73008-2746	DAVIS SUB BETHANY	3	8	8	DAVIS SUB BETHANY 003 008	4408 N PENIEL AVE
R170667850	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	6	6	DAVIS SUB BETHANY 004 006 S45FT	4302 N PENIEL AVE
R170962300	NAZARENE COLLEGE		6729 NW 39TH EXPY	BETHANY	OK	73008-2605	NORTH SIDE ADDITION	3	0	0	NORTH SIDE ADDITION 003 000 LOTS 0 1 & 2 & E120FT OF LOTS 16 & 17	6712 NW 49RD ST
R170963700	SOUTHERN NAZARENE UNIVERSITY	ATTN DON BILLINGS	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	3	0	0	NORTH SIDE ADDITION 003 000 E144FT OF LOT 14 & ALL LOT 15	4310 N ASBURY ST
R170960800	WENTE KRISTY		4500 N COLLEGE AVE	BETHANY	OK	73008-2638	NORTH SIDE ADDITION	1	6	6	NORTH SIDE ADDITION 001 006	4500 N COLLEGE AVE
R170963200	OKLA COUNTY UTILITY	SERVICES AUTHORITY		Unknown	NO		NORTH SIDE ADDITION	3	0	0	NORTH SIDE ADDITION 003 000 S30FT OF W50FT OF LOT 6 & W50FT OF LOTS 0 7 & 8 & ALL LOTS 9 & 10 EXEMPT	0 UNKNOWN BETHANY
R170960100	BMG PROPERTIES LLC		PO BOX 8604	EDMOND	OK	73083-8604	NORTH SIDE ADDITION	1	1	1	NORTH SIDE ADDITION 001 001 EX S60FT	4503 N PENIEL AVE
R170845010	BRASWELL NOELL & LAURA S TRS	BRASWELL NOEL & LAURA REV TRUST	4501 N COLLEGE AVE	BETHANY	OK	73008-2656	STATE SCHOOL LAND ACRES	9	0	0	STATE SCHOOL LAND ACRES 009 000 BEG 30FT W & 100FT S OF NE/C TH W112.5FT S75FT E112.5FT N75FT TO BEG OR TR 2 OF BLK 9	4501 N COLLEGE AVE
R170841000	PARSONS JAMES R & ANGELA F SOUTHERN NAZARENE UNIVERSITY		4408 N CENTRAL RD	BETHANY	OK	73008-2624	STATE SCHOOL LAND ACRES	9	0	0	STATE SCHOOL LAND ACRES 009 000 BEG 142.5FT W & 150FT S OF NE/C TH W112.5FT S75FT E112.5FT N75FT TO BEG	4408 N CENTRAL RD
R170667820	SOUTHERN NAZARENE UNIVERSITY		6729 NW 39TH EXPY	BETHANY	OK	73008-2694	DAVIS SUB BETHANY	4	0	0	DAVIS SUB BETHANY 004 000 W100FT OF LOT 5	6511 NW 42ND ST

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accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R170961300	HUBBERT LISA G SOUTHERN NAZARENE UNIVERSITY	HUBBERT TANNER JAMES		4310 N COLLEGE AVE	BETHANY	OK	73008	NORTH SIDE ADDITION	2		NORTH SIDE ADDITION 002 000 N2FT 0 6IN OF LOT 1 & S47.7FT 6IN OF LOT 2	4310 N COLLEGE AVE BETHANY
R170961400	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2		NORTH SIDE ADDITION 002 000 LOT 3 0 PLUS N2.6FT LOT 2	4312 N COLLEGE AVE BETHANY
R170961500	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	2	4	NORTH SIDE ADDITION 002 004	4314 N COLLEGE AVE BETHANY
R170961700	MORSCH VICKIE A TRS	MORSCH VICKIE TRUST		14996 W 130TH ST	OLATHE	KS	66062	NORTH SIDE ADDITION	2	5	000 S70FT OF LOT 5 EX S10FT	4309 N PENIEL AVE BETHANY
R170961600	HISLE NATALIE			4311 N PENIEL AVE	BETHANY	OK	73008-2743	NORTH SIDE ADDITION	2	0	EX S70FT	4311 N PENIEL AVE BETHANY
R170961800	LAMB JEREMY B & LAURIE ANN			4307 N PENIEL ST	BETHANY	OK	73008	NORTH SIDE ADDITION	2	6	000 LOT 6 & S10FT OF LOT 5	4307 N PENIEL AVE BETHANY
R170960600	WYNN CURTIS L & TONOIA S TRS	C L & T S WYNN LOVING TRUST		5005 N COUNCIL RD	BETHANY	OK	73008-2241	NORTH SIDE ADDITION	1	4	NORTH SIDE ADDITION 001 004 S66FT	4400 N COLLEGE AVE BETHANY
R170960400	AUBREY GAYLAND E TRS ETAL	AUBREY WILDA I LIVING TRUST	GAYLAND & WILDA AUBREY	4401 N PENIEL AVE	BETHANY	OK	73008	NORTH SIDE ADDITION	1	3	NORTH SIDE ADDITION 001 003 S70FT	4401 N PENIEL AVE BETHANY
R170961100	DIFFE GAGE CHRISTIAN			4308 N COLLEGE AVE	BETHANY	OK	73008	NORTH SIDE ADDITION	2	0	000 FT OF LOT 1 BEG 195FT N OF SW/C LT 1 TH N47.5FT E160FT	4308 N COLLEGE AVE BETHANY
R170962300	BETHANY NAZARENE COLLEGE			6729 NW 39TH EXPY	BETHANY	OK	73008-2605	NORTH SIDE ADDITION	3	0	1 & 2 & E120FT OF LOTS 16 & 17	6712 NW 43RD ST BETHANY
R170962500	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	3	3	NORTH SIDE ADDITION 003 003	4311 N COLLEGE AVE BETHANY
R170962600	SOUTHERN NAZARENE UNIVERSITY			6729 NW 39TH EXPY	BETHANY	OK	73008-2694	NORTH SIDE ADDITION	3	0	4 & 5	4309 N COLLEGE AVE BETHANY
R1709645001	PALMER STEPHEN R & ANGELA D			4401 N COLLEGE AVE	BETHANY	OK	73008-2657	STATE SCHOOL LAND	9	0	STATE SCHOOL LAND ACRES 009 000 PT OF BLK 9 BEG 30FT W OF SE/C BLK 9 TH N152FT W112.5FT S152FT	4401 N COLLEGE AVE BETHANY
R170961900	TOMPKINS RONALD S & DARLA			4305 N PENIEL AVE	BETHANY	OK	73008-2743	NORTH SIDE ADDITION	2	7	NORTH SIDE ADDITION 002 007	4305 N PENIEL AVE BETHANY
R170961200	BROWN JAMES R OR JAMI J TRS	BROWN TRUST		6701 STINCHCOMB DR	OKLAHOMA CITY	OK	73132-3712	NORTH SIDE ADDITION	2	1	NORTH SIDE ADDITION 002 000 BEG 145FT N OF SW/C LOT 1 TH N50FT	4306 N COLLEGE AVE BETHANY
R170960500	ESPINOSA MANUEL S & DEBRA L TRS	ESPINOSA FAMILY REV TRUST		6404 COMMODORE LN	OKLAHOMA CITY	OK	73162	NORTH SIDE ADDITION	1	4	NORTH SIDE ADDITION 001 004 N50FT	4402 N COLLEGE AVE BETHANY

Larry Stein  
Oklahoma County A  
Office

#14.

6302 NW 41st

#13.

6300 NW 41st

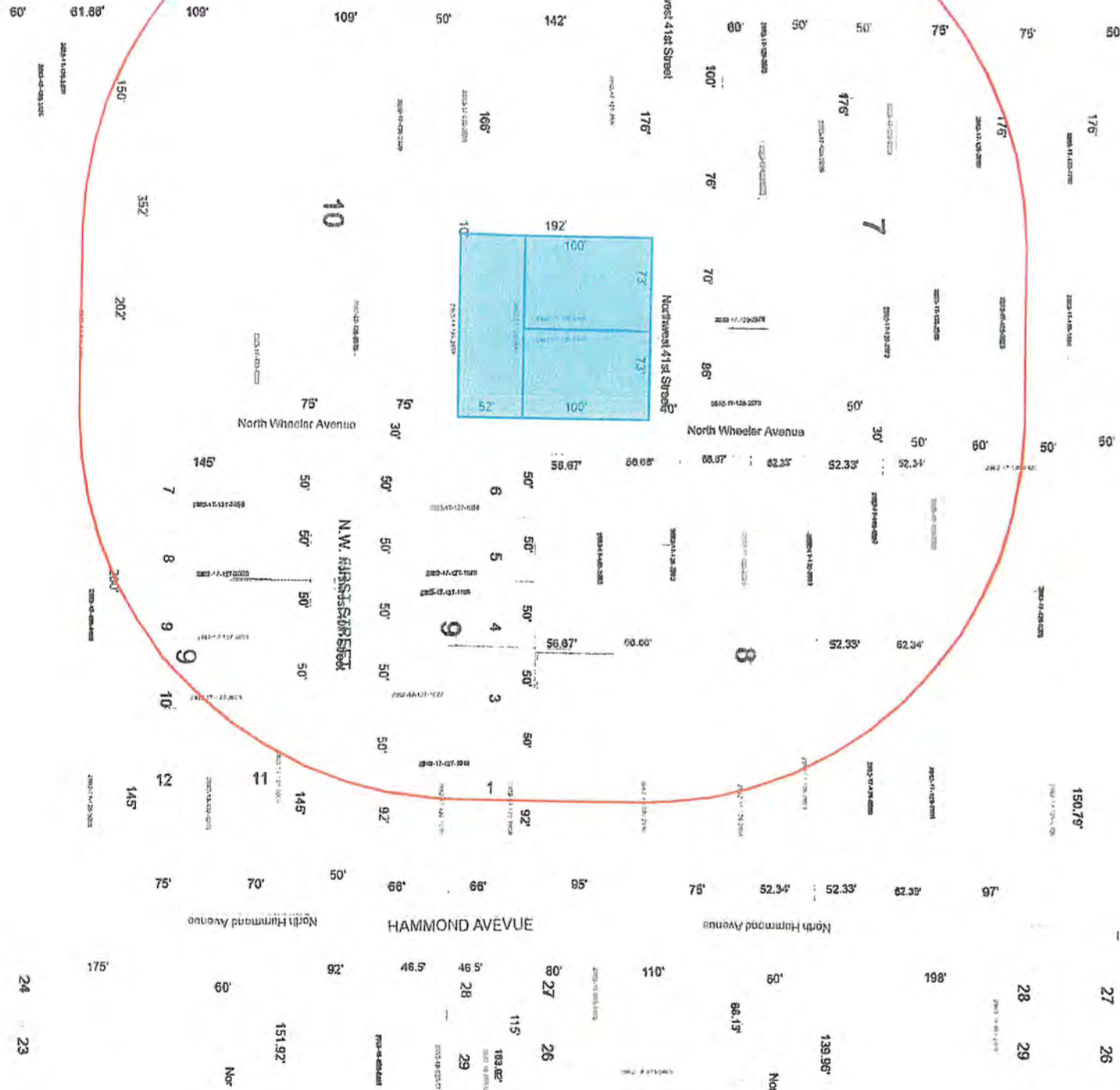
#16.

4105 N. Wheeler



## Ownership Radius Report

This Non-Official Report is for Account Number R171262405, R171262415 and R171262640 is a 300-foot radius from the outside of the polygon. If the minimum number of different owners was not reached it was extended by 100-foot increments until the required number of different owners was reached, or the maximum distance was reached. This report does not constitute a legal survey or document, for definitive description of real property and ownership; consult the deeds recorded in the Oklahoma County Clerks Office. **Official Record of this Certified Radius Report will expire 30 days from the date of creation stamped on the back of this sheet.**



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accountno	name1	name2	name3	mailingaddress1	city	state	zipcode	subname	block	lot	legal	location
R171263300	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	015	000	COCKRELL PLACE ADD 015 000 IN61.66FT OF W150FT	4012 N REDMOND AVE BETHANY
R171264400	SMILIN R REALTY LLC	No Data	No Data	11701 HACKNEY LN	YUKON	OK	73099	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD BLK 000 LOT 000 S112FT OF W10FT BLK 9 EX N3FT PLUS BEG 32.5FT N OF SW/C OF BLK 16 TH E100FT N291.91FT W100FT S TO BEG & APT OF BLK 16 BEG 152FT W & 32.5FT N OF SE/C OF BLK 16 TH N291.91FT TO N LINE OF SD BLK TH W100FT S291.91FT E100FT TO BEG	6229 NW 39TH EXPY BETHANY
R171262740	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS OFFICE	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 10FT W & 13 1/2FT N SE/C BLK 11 W158FT N50FT E158FT S50FT TO BEG	4101 N REDMOND AVE BETHANY
R171276000	PITCOCK MAY CHRISTYN SUCC CO TRS	DIFFEE VICTOR COURTLAND SUCC CO TRS	DIFFEE VICTOR REV LIV TRUST	4121 RAMSEY RD	YUKON	OK	73099	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 S75FT OF E19.7FT LOT 10 & ALL LOT 12	4013 N HAMMOND AVE BETHANY
R171262690	SOUTHERN NAZARENE UNIVERSITY	C/O DON BILLINGS	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 S109FT OF BLK 10	4100 N REDMOND AVE BETHANY
R171262760	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 10FT W & 63.5FT N OF SE/C TH W158FT TH N60FT TH E158FT TH S50FT TO BEG	4103 N REDMOND AVE BETHANY
R171272955	HRH ENTERPRISES INC	No Data	No Data	PO BOX 23013	OKLAHOMA CITY	OK	73123-2013	COCKRELL PLACE RESUB	009	007	COCKRELL PLACE RESUB 009 007 W50FT	6212 NW 40TH ST BETHANY
R171273000	DAVIS RUSSELL W	No Data	No Data	10225 W HEFNER RD	YUKON	OK	73099-8243	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 E4.7FT LOT 7 & W45.3FT LOT 8	6210 NW 40TH ST BETHANY
R171273055	HOUSE TREK OK LLC	No Data	No Data	967 E PARKCENTER BLVD, Unit 1019	BOISE	ID	83706	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 E8.7FT LOT 8 & W41.3FT LOT 9	6208 NW 40TH ST BETHANY
R171273075	RAMIREZ ILEANA BETZABE	No Data	No Data	6206 NW 40TH ST	BETHANY	OK	73008	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 E12.7FT OF LOT 9 & W35.3FT OF LOT 10	6206 NW 40TH ST BETHANY
R171275000	HERNANDEZ ADELMO & VERONICA	No Data	No Data	3911 N GLADE AVE	BETHANY	OK	73008	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 E19.7FT OF N70FT LOT 10 & ALL LOT 11	6204 NW 40TH ST BETHANY
R171262770	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 PT OF BLK 11 BEG 10FT W & 113 1/2FT N OF SE/C BLK 11 TH W158FT N50FT E158FT S50FT TO BEG	4105 N REDMOND AVE BETHANY

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R171262415	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG AT A PL 243FT S & 30FT W OF NE/C-BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6300 NW 41ST ST BETHANY
R171262405	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLKS 7 & 10 BEG 243FT S & 103FT W OF NE/C-BLK 7 TH S100FT W73FT N100FT E73FT TO BEG	6300 NW 41ST ST BETHANY
R170724700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	005	001	EAST SIDE ADDITION 005 001	4115 N REDMOND AVE BETHANY
R171262400	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PRT OF BLKS 7 & 10 BEG 243FT S OF NW/C OF BLK 7 S142FT E166FT S50FT E10FT N192FT W176FT TO BEG	4128 N REDMOND AVE BETHANY
R171262590	NEW OKLAHOMA INVESTMENTS LLC	No Data	No Data	4107 N HAMMOND AVE	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 S95FT OF E197FT	4107 N HAMMOND AVE BETHANY
R171262592	MCANALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 N56.66FT OF S113.39FT OF W155FT	4202 N WHEELER AVE BETHANY
R171262595	GALLEGOS ROSALVA	No Data	GARCIA VICTOR	4204 N WHEELER AVE	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 W155FT OF N56.67FT OF S170FT	4204 N WHEELER AVE BETHANY
R171262604	SHERER LARRY JOE	No Data	No Data	4111 N HAMMOND AVE	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 N75FT OF E197FT OF S170FT	4111 N HAMMOND AVE BETHANY
R170724105	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 4	4201 N REDMOND AVE BETHANY
R171262575	SOUTHERN NAZARENE UNIVERSITY	No Data	C/O JACK H PETTY	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 E76FT OF W176FT OF S80FT OF N203FT	6305 NW 41ST ST BETHANY
R171262576	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W100FT OF S60FT OF N203FT	4200 N REDMOND AVE BETHANY
R171262607	KEESE MARY E	No Data	No Data	4206 N WHEELER AVE	BETHANY	OK	73008-2655	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT OF BLK 8 BEG 12FT E & 404.67FT S OF NW/C E3W 143FT AND N&S 52.33FT	4206 N WHEELER AVE BETHANY
R171262603	NANTZE JEFFREY A TRS	No Data	JONATHAN D TRS	7513 NW 38TH ST	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 S52.34FT OF N157FT OF E197FT	4115 N HAMMOND AVE BETHANY
R170724110	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 E93.5FT LOT 3	4203 N REDMOND AVE BETHANY
R171262570	R & S PROPERTIES LLC	No Data	No Data	4000 NW 48TH ST	OKLAHOMA CITY	OK	73112	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 93FT S & 20FT W OF NE/C FOR BEG TH W96FT S110FT E86FT N110FT TO BEG	6301 NW 41ST ST BETHANY

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R171262578	JOHNSON MINDI MARIE	No Data	No Data	BETHANY	OK	73008	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 BEG 203FT S & 176FT E OF NW/4 BLK 7 TH N110FT E70FT S110FT W70FT TO BEG	6303 NW 41ST ST BETHANY
R171262565	NATE PROPERTIES LLC	No Data	No Data	OKLAHOMA CITY	OK	73172-0244	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 S50FT OF N143FT OF W176FT	4204 N REDMOND AVE BETHANY
R171262597	MICHAEL CECIL R	MICHAEL SHELLY JO	No Data	YUKON	OK	73099	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD BLK 008 LOT 000 PT OF BLK 8 BEG 12FT E & S2.34FT S OF NW/4 TH E143FT S52.33FT W143FT N52.33FT TO BEG	4208 N WHEELER AVE BETHANY
R171262600	NANTZE JEFFREY A TRS	NANTZE JONATHAN D TRS	REDMOND TRUST	BETHANY	OK	73008	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 S52.33FT OF N104.66FT OF E197FT	4119 N HAMMOND AVE BETHANY
R171262572	JOHNSON CLARA LU BRASHER	No Data	No Data	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 PT BLK DES AS BEG AT PT 43F S AND 20FT W OF NE/4 BLK 7 TH W156FT TH S50FT TH E156FT TH N50FT TO BEG	4207 N WHEELER AVE BETHANY
R171262580	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	007	000	COCKRELL PLACE ADD 007 000 W 1/2 OF S50FT OF N93FT	4206 N REDMOND AVE BETHANY
R170723950	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	BETHANY	OK	73008-2684	EAST SIDE ADDITION	004	000	EAST SIDE ADDITION 004 000 S25FT OF LOT 1 & ALL LOT 2 & BEG 12FT N OF SEC OF LOT 2 THEZFT N15FT W2FT S1.5FT TO BEG	4205 N REDMOND AVE BETHANY
R171262601	PETERS ELIZABETH	No Data	No Data	BETHANY	OK	73008-2922	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 N52.33FT OF E197FT	4203 N HAMMOND AVE BETHANY
R171262602	REDWINE KATHERINE NICOLE	No Data	No Data	BETHANY	OK	73008-2855	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 PT BLK 8 BEG 12FT E OF NW/4 TH E149FT S52.34FT W143FT N52.34FT TO BEG	4210 N WHEELER AVE BETHANY
R171262500	BRASHER MILTONETTE	No Data	No Data	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S7FT OF E 1/2 OF BLK 2 E 1/2 OF N43FT OF BLK 7	4209 N WHEELER AVE BETHANY
R171262250	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 S32FT OF W 1/2 BLK 2 & W 1/2 OF N43FT OF BLK 7	4208 N REDMOND AVE BETHANY
R171262252	JOHNSON CLARAL JOHNSON JACK	No Data	No Data	BETHANY	OK	73008-2854	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 E 1/2 OF N50FT OF S57FT	4211 N WHEELER AVE BETHANY
R171260305	WALSTAD KENT LEE	WALSTAD KIRSTEN ANN	No Data	BETHANY	OK	73008-2855	COCKRELL PLACE ADD	000	000	COCKRELL PLACE ADD 000 000 PT OF BLK 1 BEG SW/4 BLK 1 TH N87FT E201.70FT SEL Y87.06FT W206FT TO BEG SUBI TO RD ESMT ON W	4212 N WHEELER AVE BETHANY
R171261850	GUZMAN MARTIN & BLANCA	No Data	No Data	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 S50FT OF E 1/2 OF N270FT	4213 N WHEELER AVE BETHANY
R171261700	SCHLICHER GARY BENJAMM	No Data	No Data	BETHANY	OK	73008-2842	COCKRELL PLACE ADD	002	000	COCKRELL PLACE ADD 002 000 W176FT OF S75FT OF N285FT	4210 N REDMOND AVE BETHANY

Oklahoma County Assessor's  
300ft Radius Report  
1/14/2026

R171260320	CITY OF BETHANY	No Data	No Data	PO BOX 219	BETHANY	OK	73008	PLACE ADD	001	000	COCKRELL PLACE ADD 001 000 W12FT OF S157FT BLK 1	0 UNKNOWN BETHANY
R171263600	VALLA LLC	No Data	No Data	4400 BRADEN CT	OKLAHOMA CITY	OK	73120	PLACE ADD	015	000	NE/C LOT 15 TH S296.53FT TH W133.79FT TH N170.8FT TH N126.09FT TH E131.11FT TO BEG	6301 NW 39TH EXPY BETHANY
R171263605	FBL HOLDINGS LLC	No Data	No Data	2330 N HARRISON	SHAWNEE	OK	74804	PLACE ADD	015	000	COCKRELL PLACE ADD PT LOT 15 BEG 150FT E OF NW/C LOT 15 TH E70.32FT TH S126.09FT TH S170.8FT TH W8.63FT TH N145FT TH W59FT TH N152.62FT TO BEG CONT .28 ACRES MORE OR LESS	No Data

Oklahoma County Assessor's  
300ft Radius Report  
1/14/2026

R171262670	TRIMBLE SHERRIEL J	No Data	No Data	4101 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 PT BLK 10 COCKRELL PLACE BEG AT A PT 109FT N & 30FT W OF SE/C SD BLK 10 TH W146FT N75F E146FT S75FT TO BEG	4101 N WHEELER AVE BETHANY
R171262700	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 109FT N OF SW COR BLK 10 E176FT N109FT W176FT S109FT	4104 N REDMOND AVE BETHANY
R171262720	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPRESSWAY	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 104.5FT S OF NE/C BLK 11 W164FT S89FT E164FT N58FT TO BEG	4107 N REDMOND AVE BETHANY
R171271005	GARCIA RODRIGUEZ SERGIO E	No Data	No Data	4101 N HAMMOND AVE	BETHANY	OK	73008-2911	COCKRELL PLACE RESUB	009	002	COCKRELL PLACE RESUB 009 002 E92FT	4101 N HAMMOND AVE BETHANY
R171262660	GUZMAN MARTIN & BLANCA	No Data	No Data	4103 N WHEELER AVE	BETHANY	OK	73008-2852	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 184FT N & 30FT W OF SE/C TH W146FT N75FT E146FT S75FT TO BEG	4103 N WHEELER AVE BETHANY
R171262680	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 59FT S OF NW/C TH E166FT S50FT W166FT N50FT TO BEG	4108 N REDMOND AVE BETHANY
R171262730	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2694	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W & 54.5FT S OF NE/C BLK 11 W164FT S50FT E164FT N50FT TO BEG	4109 N REDMOND AVE BETHANY
R171262640	SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	010	000	COCKRELL PLACE ADD 010 000 BEG 258FT N & 30FT W OF SE/C TH W146FT N52FT E146FT S52FT TO BEG	4105 N WHEELER AVE BETHANY
R171271050	BALTAZAR MARY ANN	No Data	No Data	6213 NW 40TH ST	BETHANY	OK	73008-2814	COCKRELL PLACE RESUB	009	006	COCKRELL PLACE RESUB 009 006 W50FT	6213 NW 40TH ST BETHANY
R171271040	THE DELAGER FAMILY LIMITED PARTNERSHIP IV	No Data	No Data	8033 NW 16TH ST	OKLAHOMA CITY	OK	73127	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W45.3FT LOT 5 & E4.7FT LOT 6	6211 NW 40TH ST BETHANY
R171271000	LHK LEGACY 2 LLC	No Data	No Data	6011 N ROBINSON AVE	OKLAHOMA CITY	OK	73118-7425	COCKRELL PLACE RESUB	009	001	COCKRELL PLACE RESUB 009 001 E92FT	4105 N HAMMOND AVE BETHANY
R171271030	HERRING MARK MELINDA	No Data	No Data	3100 NW 73RD ST	OKLAHOMA CITY	OK	73116	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W41.3FT LOT 4 & E8.7FT LOT 5	6209 NW 40TH ST BETHANY
R171271010	PM BROTHERS PROPERTIES LLC	No Data	No Data	2632 AMANTE CT	EDMOND	OK	73034-2451	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W32.3FT LOTS 1 & 2 & E17.7FT LOT 3	6205 NW 40TH ST BETHANY
R171271022	GRIMES BC TRS SOUTHERN NAZARENE UNIVERSITY	No Data	No Data	6145 SUN BLVD #401	ST PETERSBURG	FL	33715	COCKRELL PLACE RESUB	009	000	COCKRELL PLACE RESUB 009 000 W37.3FT LOT 3 & E12.7FT LOT 4	6207 NW 40TH ST BETHANY
R171262710	ATTN: DONALD BILLINGS	No Data	No Data	6729 NW 39TH EXPY	BETHANY	OK	73008-2605	COCKRELL PLACE ADD	011	000	COCKRELL PLACE ADD 011 000 BEG 4FT W OF NE/C BLK W164FT S54.5FT E164FT N54.5FT TO BEG	4111 N REDMOND AVE BETHANY
R171262582	MCCANNALLY PROPERTIES LLC	No Data	No Data	5505 NW 114TH ST	OKLAHOMA CITY	OK	73162-3746	COCKRELL PLACE ADD	008	000	COCKRELL PLACE ADD 008 000 S56.67FT OF W155FT	4200 N WHEELER AVE BETHANY

CITY OF BETHANY

405-789-2146

\*\*\*\*\* REPRINT RECEIPT\*\*\*\*\*

REC#: 01401825 1/21/2026 2:58 PM  
OPER: jh TERM: 006  
REF#: 8805

TRAN: 540.0000 COMM DEV RECEIPTS  
CK#8805-REZONE  
6729 NW 39TH EXP  
010-39010  
MISCELLANEOUS REVEN 1,064.00CR

TENDERED: 1,064.00 CHECK  
APPLIED: 1,064.00-

CHANGE:            0.00

\*\*\* CITY HALL WILL BE CLOSED\*\*\*  
MONDAY FEBRUARY 16TH IN OBSERVANCE OF  
PRESIDENTS DAY. TRASH MAKE UP DAY  
WILL BE WED FEB THE 18TH.

## NOTICE OF PUBLIC HEARING

On March 5th, 2026, at 6:30 p.m. the Bethany Planning and Zoning Commission will, during its regular session, hold a public hearing at Bethany City Hall, 6700 N.W. 36<sup>th</sup> St., Bethany, OK 73008 for the following: Consider a request by Southern Nazarene University, Applicant and Property Owner, to rezone Sixteen properties from R-1 (Single-Family Residential) to E-I (Educational Institutional).

Following the public hearing the Bethany Planning & Zoning Commission will vote on the request and forward a recommendation to the Bethany City Council, which in turn will hear this case on March 17, 2026, at 6:30 p.m. At that meeting a second public hearing will be held and following the hearing the Council will vote to approve or deny the request.

The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not the necessary accommodation.

### Legal Description and Properties:

1. 4312 N. College Ave.
  - a. Legal description: The North 2.6 feet of Lot Two (2) and all of Lot Three (3) in Block Two (2) in NORTHSIDE ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
2. 4314 N. College Ave.
  - a. Legal description: Lot FOUR (4) of Block TWO (2), in NORTH SIDE ADDITION, to Bethany, Oklahoma County, Oklahoma according to the recorded plat thereof
3. 4302 N. Peniel Ave.
  - a. Legal description: The South 45 feet of Lot Six (6), Block Four (4), Davis Addition to the City of Bethany, Oklahoma County, Oklahoma
4. 4304 N. Peniel Ave.
  - a. Legal description: The North 27 ½ feet of Lot 'SIX (6) and the South 22 ½ feet of Lot SEVEN (7), of Block FOUR (4), in DAVIS ADDITION, to

Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof

5. 4305 N. Donald Ave.

- a. Legal description: The South 1 foot of Lot Two (2) and the North 60 feet of Lot Three (3), of Block Four (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof

6. 4307 N. Donald Ave.

- a. Legal description: The North FIFTY (50) feet of the South FIFTY-INE (51) feet of Lot TWO (2), in Block (4) of DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof

7. 4010 N. Redmond Ave.

- a. Legal description: The South Sixty (60) feet of the North One-Hundred Twenty-one and Sixty-six hundredths, (121.66) feet of the West One-Hundred fifty (150) feet of Block Fifteen (15) COCKRELL PLACE ADDITION, Bethany, Oklahoma County, being a subdivision of the SE/4 of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, according to the recorded plat thereof

8. 4012 N. Redmond Ave.

- a. Legal description: the North 61.66 feet of the West 150 feet only of Block Fifteen (15), in Cockrell Place, in Oklahoma County, Oklahoma, according to the recorded plat thereof

9. 4108 N. Redmond Ave.

- a. Legal description: Part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof. Said part being more particularly described as follows: Beginning at a point 59 feet South of the Northwest corner of said Block Ten (10); Thence East 166 feet; Thence South 50 feet; Thence West 166 feet; Thence North 50 feet to the Point of Place of Beginning

10. 4200 N. Redmond Ave.

- a. Legal description: The West 100 feet of the South 60 feet of the North 203 feet of Block Seven (7), COCKRELL PLACE ADDITION, being a subdivision of a part of the Southeast Quarter (SE/4), of Section Sixteen (16),

Township Twelve (12) North, Range Four (4) West of the Indian Meridian, Oklahoma County, State of Oklahoma, according to the recorded plat thereof

11. 4206 N. Redmond Ave.

- a. Legal description: The West Half (W/2) of the South Fifty (50) feet of the North Ninety-three (93) feet of Block Seven (7), in COCKRELL PLACE, Oklahoma County, Oklahoma, according to the recorded plat thereof

12. 4208 N. Redmond Ave.

- a. Legal description: The South 32 feet of the West Half (w/2) of Block Two (2) and the North 43 feet of the West Half (W/2) of Block Seven (7) in COCKRELL PLACE, an Addition in Oklahoma County, Oklahoma, as shown by the recorded plat thereof

13. 6300 NW 41st Street

- a. Legal description: Part of Blocks Seven (7) and Ten (10), in COCKRELL PLACE ADDITION, a subdivision of part of the North Half (N1/2) of the Southeast Quarter (SE/4) of Section 16, Township 12 North, Range 4 West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 30 feet West of the Northeast Corner of Said Block 7; Thence South 100 feet; Thence West 73 feet; Thence North 100 feet; Thence East 73 feet to the point or place of beginning, Oklahoma County, Oklahoma, according to the recorded plat thereof

14. 6302 NW 41<sup>st</sup> Street

- a. Legal description: A part of Blocks Seven (7) and ten (10), in COCKRELL PLACE, a subdivision of the North Half (N/2) of the Southeast Quarter (SE/4) of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 103 feet West of the NE/Corner of Block 7, thence South 100 feet; thence West 73 feet; thence North 100 feet; thence East 73 feet to the point of beginning,

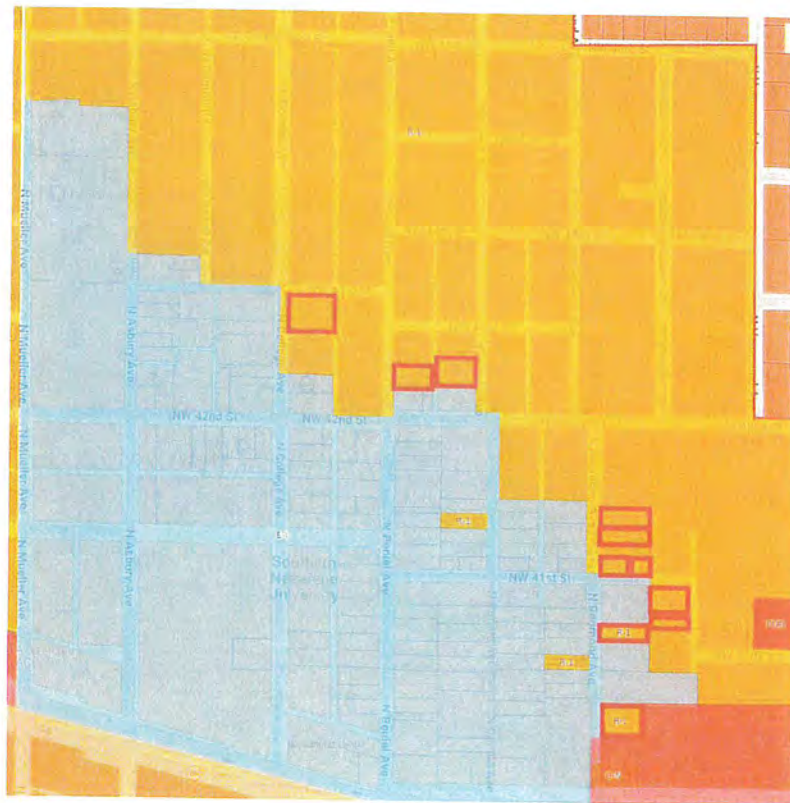
15. 6305 NW 41<sup>st</sup> Street

- a. Legal description: East Seventy-six (76) feet of the West One Hundred Seventy-Six (176) feet of the South Sixty (60) feet of the North Two

Hundred three (203) feet of Block Seven (7), in COCKRELL PLACE to Oklahoma County, Oklahoma, according to the recorded plat thereof

16.4105 N. Wheeler Ave.

- a. Legal description: A part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof; more particularly described as follows: Beginning at a point 259 feet North and 30 feet West of the Southeast corner of said Block 10; thence West 146 feet; thence North 52 feet; thence East 146 feet; thence South 52 feet to the Point of Beginning



# BETHANY

Oklahoma

Department of Planning & Community Development

February 9th, 2026

**NOTICE OF HEARING  
COMMISSION**

**PLANNING & ZONING**

**AND CITY COUNCIL**

Dear Property Owner:

This notice is to inform you that a neighboring property owner has filed an application with the Bethany Planning Department to rezone their property. All rezoning applications within the City limits are reviewed by the Planning and Zoning Commission at a public hearing to determine whether the proposal is in conformity with the Comprehensive Plan for the City of Bethany.

We would like to emphasize that the Planning and Zoning Commission does not make the final decision on whether or not to approve the application; it simply makes recommendations on zoning matters to the City Council. The final decision is made by the City Council in a second hearing.

Attached to this notice is information on the hearing dates, the location of the property, and the zoning category requested. During the public hearings, the applicant for the zoning change presents his case, and all interested property owners in the surrounding area are invited to appear and state whether they are for or against the proposal.

Your participation in these proceedings can affect the outcome.

If you have any questions regarding this notice, please contact the Community Development Director. Call (405) 789-6005.

**SECRETARY  
PLANNING AND ZONING COMMISSION**

**ZONING CHANGE INFORMATION**

A. Rezoning Proposal

1. Case No.: 26-05
2. Location of Property: \*See attached list
3. Legal Description: \*See attached list
4. Present Zoning: R-1 (Residential Single-family)
5. Proposed Zoning: E-I (Educational Institutional)

B. Hearing Schedule

1. The Planning and Zoning Commission hearing on the proposed rezoning will be held on March 5<sup>th</sup>, 2026, at 6:30 P.M. At this hearing, any interested citizen will have the opportunity to speak to the Commission concerning the proposed zoning change. The Commission will vote on whether to recommend approval or disapproval of the proposed rezoning. **IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS HEARING.**
2. The City Council Hearing will be held on March 17<sup>th</sup>, 2026, at 6:30 P.M. At this hearing, any interested citizens will have the opportunity to speak to the City Council concerning the request. The City Council will vote either to adopt or reject the proposed rezoning ordinance. **IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS MEETING.**

C. Location of Hearings

Both the Planning and Zoning Commission and City Council hearings are held in the Bethany City Council Chambers in City Hall.

*Zoning Change Information*

D. Legal Description

1. 4312 N. College Ave.
  - a. Legal description: The North 2.6 feet of Lot Two (2) and all of Lot Three (3) in Block Two (2) in NORTHSIDE ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
2. 4314 N. College Ave.
  - a. Legal description: Lot FOUR (4) of Block TWO (2), in NORTH SIDE ADDITION, to Bethany, Oklahoma County, Oklahoma according to the recorded plat thereof
3. 4302 N. Peniel Ave.
  - a. Legal description: The South 45 feet of Lot Six (6), Block Four (4), Davis Addition to the City of Bethany, Oklahoma County, Oklahoma
4. 4304 N. Peniel Ave.
  - a. Legal description: The North 27 ½ feet of Lot 'SIX (6) and the South 22 ½ feet of Lot SEVEN (7), of Block FOUR (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
5. 4305 N. Donald Ave.
  - a. Legal description: The South 1 foot of Lot Two (2) and the North 60 feet of Lot Three (3), of Block Four (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
6. 4307 N. Donald Ave.
  - a. Legal description: The North FIFTY (50) feet of the South FIFTY-INE (51) feet of Lot TWO (2), in Block (4) of DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof
7. 4010 N. Redmond Ave.
  - a. Legal description: The South Sixty (60) feet of the North One-Hundred Twenty-one and Sixty-six hundredths, (121.66) feet of the West One-Hundred fifty (150) feet of Block Fifteen (15) COCKRELL PLACE ADDITION, Bethany, Oklahoma County, being a subdivision of the

SE/4 of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, according to the recorded plat thereof

8. 4012 N. Redmond Ave.

- a. Legal description: the North 61.66 feet of the West 150 feet only of Block Fifteen (15), in Cockrell Place, in Oklahoma County, Oklahoma, according to the recorded plat thereof

9. 4108 N. Redmond Ave.

- a. Legal description: Part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof. Said part being more particularly described as follows: Beginning at a point 59 feet South of the Northwest corner of said Block Ten (10); Thence East 166 feet; Thence South 50 feet; Thence West 166 feet; Thence North 50 feet to the Point of Place of Beginning

10. 4200 N. Redmond Ave.

- a. Legal description: The West 100 feet of the South 60 feet of the North 203 feet of Block Seven (7), COCKRELL PLACE ADDITION, being a subdivision of a part of the Southeast Quarter (SE/4), of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, Oklahoma County, State of Oklahoma, according to the recorded plat thereof

11. 4206 N. Redmond Ave.

- a. Legal description: The West Half (W/2) of the South Fifty (50) feet of the North Ninety-three (93) feet of Block Seven (7), in COCKRELL PLACE, Oklahoma County, Oklahoma, according to the recorded plat thereof

12. 4208 N. Redmond Ave.

- a. Legal description: The South 32 feet of the West Half (w/2) of Block Two (2) and the North 43 feet of the West Half (W/2) of Block Seven (7) in COCKRELL PLACE, an Addition in Oklahoma County, Oklahoma, as shown by the recorded plat thereof

13. 6300 NW 41st Street

- a. Legal description: Part of Blocks Seven (7) and Ten (10), in COCKRELL PLACE ADDITION, a subdivision of part of the North Half (N1/2) of

the Southeast Quarter (SE/4) of Section 16, Township 12 North, Range 4 West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 30 feet West of the Northeast Corner of Said Block 7; Thence South 100 feet; Thence West 73 feet; Thence North 100 feet; Thence East 73 feet to the point or place of beginning, Oklahoma County, Oklahoma, according to the recorded plat thereof

14. 6302 NW 41<sup>st</sup> Street

- a. Legal description: A part of Blocks Seven (7) and ten (10), in COCKRELL PLACE, a subdivision of the North Half (N/2) of the Southeast Quarter (SE/4) of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 103 feet West of the NE/Corner of Block 7, thence South 100 feet; thence West 73 feet; thence North 100 feet; thence East 73 feet to the point of beginning,

15. 6305 NW 41<sup>st</sup> Street

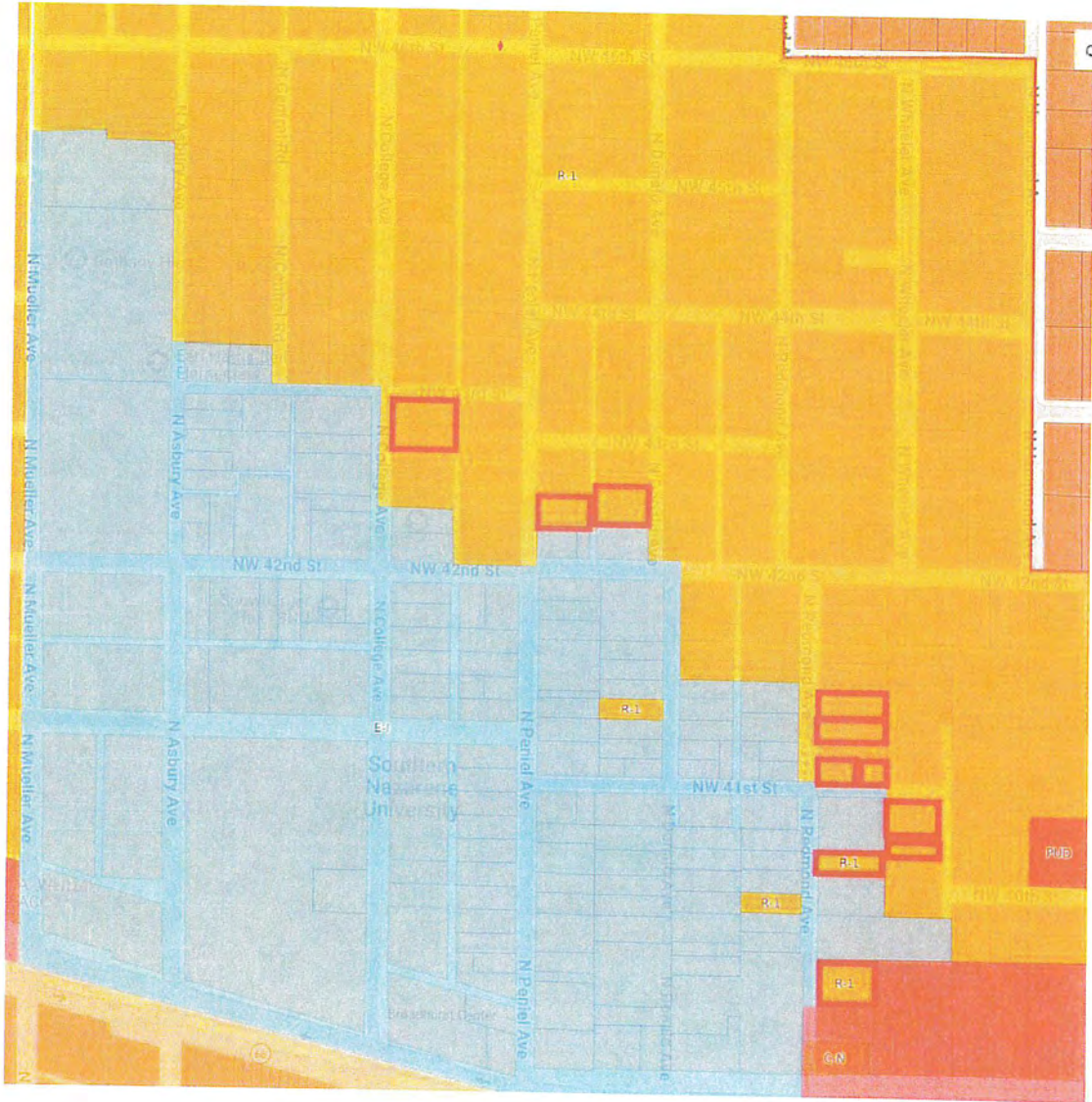
- a. Legal description: East Seventy-six (76) feet of the West One Hundred Seventy-Six (176) feet of the South Sixty (60) feet of the North Two Hundred three (203) feet of Block Seven (7), in COCKRELL PLACE to Oklahoma County, Oklahoma, according to the recorded plat thereof

16. 4105 N. Wheeler Ave.

- a. Legal description: A part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof; more particularly described as follows: Beginning at a point 259 feet North and 30 feet West of the Southeast corner of said Block 10; thence West 146 feet; thence North 52 feet; thence East 146 feet; thence South 52 feet to the Point of Beginning

(SEE LOCATION MAP ON  
BACK  
OF THIS PAGE

E. Map



CITY OF BETHANY

405-789-2146

\*\*\*\*\* REPRINT RECEIPT\*\*\*\*\*

REC#: 01401825 1/21/2026 2:58 PM

OPER: jh TERM: 006

REF#: 8805

TRAN: 540.0000 COMM DEV RECEIPTS

CK#8805-REZONE

6729 NW 39TH EXP

010-39010

MISCELLANEOUS REVEN 1,064.00CR

TENDERED: 1,064.00 CHECK

APPLIED: 1,064.00-

CHANGE:                      0.00

\*\*\* CITY HALL WILL BE CLOSED\*\*\*  
MONDAY FEBRUARY 16TH IN OBSERVANCE OF  
PRESIDENTS DAY. TRASH MAKE UP DAY  
WILL BE WED FEB THE 18TH.

**ORDINANCE NO. 2090**

AN ORDINANCE AMENDING THE ZONING ORDINANCES, MAP, AND COMPREHENSIVE PLAN OF THE CITY OF BETHANY, OKLAHOMA, BY INCLUDING IN EDUCATION-INSTITUTIONAL THE PROPERTIES LOCATED AT AROUND THE SOUTHERN NAZERENE UNIVERSITY FROM R-1 (SINGLE FAMILY RESIDENTIAL), IN BETHANY, OKLAHOMA COUNTY, OKLAHOMA AS MORE PARTICULARLY DESCRIBED HEREINAFTER.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BETHANY:

Section 1. The following-described real estate situated in the City of Bethany, to wit:

- a. 4312 N. College Ave.: The North 2.6 feet of Lot Two (2) and all of Lot Three (3) in Block Two (2) in NORTHSIDE ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof;
- b. 4314 N. College Ave.: Lot FOUR (4) of Block TWO (2), in NORTH SIDE ADDITION, to Bethany, Oklahoma County, Oklahoma according to the recorded plat thereof;
- c. 4302 N. Peniel Ave.: The South 45 feet of Lot Six (6), Block Four (4), Davis Addition to the City of Bethany, Oklahoma County, Oklahoma;
- d. 4304 N. Peniel Ave.: The North 27 ½ feet of Lot 'SIX (6) and the South 22 ½ feet of Lot SEVEN (7), of Block FOUR (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof;
- e. 4305 N. Donald Ave.: The South 1 foot of Lot Two (2) and the North 60 feet of Lot Three (3), of Block Four (4), in DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof;
- f. 4307 N. Donald Ave.: The North FIFTY (50) feet of the South FIFTY-INE (51) feet of Lot TWO (2), in Block (4) of DAVIS ADDITION, to Bethany, Oklahoma County, Oklahoma, according to the recorded plat thereof;
- g. 4010 N. Redmond Ave.: The South Sixty (60) feet of the North One-Hundred Twenty-one and Sixty-six hundredths, (121.66) feet of the West One-Hundred fifty (150) feet of Block Fifteen (15) COCKRELL PLACE ADDITION, Bethany,

Oklahoma County, being a subdivision of the SE/4 of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, according to the recorded plat thereof;

- h. 4012 N. Redmond Ave.: the North 61.66 feet of the West 150 feet only of Block Fifteen (15), in Cockrell Place, in Oklahoma County, Oklahoma, according to the recorded plat thereof;
- i. 4108 N. Redmond Ave.: Part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof. Said part being more particularly described as follows: Beginning at a point 59 feet South of the Northwest corner of said Block Ten (10); Thence East 166 feet; Thence South 50 feet; Thence West 166 feet; Thence North 50 feet to the Point of Place of Beginning;
- j. 4200 N. Redmond Ave.: The West 100 feet of the South 60 feet of the North 203 feet of Block Seven (7), COCKRELL PLACE ADDITION, being a sub-division of a part of the Southeast Quarter (SE/4), of Section Sixteen (16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, Oklahoma County, State of Oklahoma, according to the recorded plat thereof;
- k. 4206 N. Redmond Ave.: The West Half (W/2) of the South Fifty (50) feet of the North Ninety-three (93) feet of Block Seven (7), in COCKRELL PLACE, Oklahoma County, Oklahoma, according to the recorded plat thereof;
- l. 4208 N. Redmond Ave.: The South 32 feet of the West Half (w/2) of Block Two (2) and the North 43 feet of the West Half (W/2) of Block Seven (7) in COCKRELL PLACE, an Addition in Oklahoma County, Oklahoma, as shown by the recorded plat thereof;
- m. 6300 NW 41st Street: Part of Blocks Seven (7) and Ten (10), in COCKRELL PLACE ADDITION, a subdivision of part of the North Half (N1/2) of the Southeast Quarter (SE/4) of Section 16, Township 12 North, Range 4 West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 30 feet West of the Northeast Corner of Said Block 7; Thence South 100 feet; Thence West 73 feet; Thence North 100 feet; Thence East 73 feet to the point or place of beginning, Oklahoma County, Oklahoma, according to the recorded plat thereof;
- n. 6302 NW 41st Street: A part of Blocks Seven (7) and ten (10), in COCKRELL PLACE, a subdivision of the North Half (N/2) of the Southeast Quarter (SE/4) of Section Sixteen

(16), Township Twelve (12) North, Range Four (4) West of the Indian Meridian, more particularly described as follows: Beginning at a point 243 feet South and 103 feet West of the NE/Corner of Block 7, thence South 100 feet; thence West 73 feet; thence North 100 feet; thence East 73 feet to the point of beginning;

- o. 6305 NW 41st Street: East Seventy-six (76) feet of the West One Hundred Seventy-Six (176) feet of the South Sixty (60) feet of the North Two Hundred three (203) feet of Block Seven (7), in COCKRELL PLACE to Oklahoma County, Oklahoma, according to the recorded plat thereof;
- p. 4105 N. Wheeler Ave.: A part of Block TEN (10), in COCKRELL PLACE, to Oklahoma County, Oklahoma, according to the recorded plat thereof; more particularly described as follows: Beginning at a point 259 feet North and 30 feet West of the Southeast corner of said Block 10; thence West 146 feet; thence North 52 feet; thence East 146 feet; thence South 52 feet to the Point of Beginning;

is hereby included in, added to, and made part of the district set aside for Educational-Institutional (E-1), and the Clerk of the City of Bethany is hereby authorized and directed to correct the official zoning map and comprehensive plan map of the City of Bethany, Oklahoma, to conform thereto.

\*\*\*END\*\*\*

The undersigned hereby certify that the foregoing ordinance was introduced before the Bethany Planning and Zoning Commission on Mar. 5, 2026, and the Bethany City Council on the 17th day of March, 2026, and was duly adopted and approved by the Mayor and City Council of the City of Bethany on the 17th day of March, 2026, after public hearing, and after compliance with notice requirements of the Open Meeting Law (25 OSA, Sections 301, et seq.).

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

Approved as to form and legality on \_\_\_\_\_, 2026.

\_\_\_\_\_  
CITY ATTORNEY

**BETHANY CITY COUNCIL**

From: Brett Crecelius  
Date: March 9, 2026  
Subject: Consider a request by Box Law Group, PLLC, on behalf of the Applicant and John Thephahanh, Property Owner, to rezone 2200 N. Flamingo Ave. from E-I, Educational-Institutional to PUD, Planned Unit Development.

BACKGROUND

Attached are the minutes and the staff report from the March 5, 2026 Planning and Zoning Commission meeting. Motion was made by James Clemmer, seconded by Sam Thurman to recommend approving the rezoning of 2200 N. Flamingo Ave. from E-I, Educational-Institutional to PUD, Planned Unit Development. The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Ron Crouch, Arvel Williams. NAY- Robert Helton. ABSTAIN- None. The motion carried 5-1-0.

RECOMMENDATION

- 1. As develops during the meeting.

ADDITIONAL COMMENTS



Gary Cummings, CEO at Southern Nazarene University explained we are in a campaign to raise twelve million dollars over the next three to four years. Eighty percent of those dollars will refurbish existing buildings. So, at this time, we are not planning to fill up these sixteen properties or other properties that exist. It is just a cleanup to mark all those different properties we do own with educational. At this time there is no specific plans to put anything new on these sixteen properties with one possible exception that we are growing and because of that growth we are looking at where we can possibly put a mini dorm.

Motion was made by James Clemmer, seconded by Ron Crouch to approve rezoning the sixteen properties from R-1, Single Family to E-I, Educational Institutional. The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Robert Helton, Ron Crouch, Arvel Williams. NAY- None. ABSTAIN- None. The motion carried unanimously 6 - 0.

**ITEM 2: PC 26-06**

3/5/26  
PZ  
minutes  
Consider a request by Box Law Group, PLLC, on behalf of the Applicant and John Thephahanh, Property Owner, to rezone 2200 N. Flamingo Ave. from E-I (Educational Institutional) to PUD (Planned Unit Development).

**LEGAL DESCRIPTION:** UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W OF NE/C NW/4 TH W150FT S321.51FT NELY ALONG A CURVE 137.50FT E15FT N300FT TO BEG PLUS A TR BEG 180FT W & 220FT S OF NE/C NW4 TH W215FT SWLY233.78FT SELY ALONG A CURVE 210.71FT SELY ALONG A REVERSE CURVE 172.32FT NELY126.42FT NELY ALONG A CURVE 119.02FT N321.51FT TO BEG EX A TR BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG (ITEM TO BE HEARD BY CITY COUNCIL ON MARCH 17, 2026.)

**ACTION:** Raquelynn Diaz, Comm. Dev. Associate presented the staff report to consider a request to rezone 2200 N. Flamingo Ave. from E-I, Educational Institutional to PUD, Planned Unit Development. The applicant plans to rezone property to a PUD to develop the site into a multi-family residential community consisting of eleven duplexes.

Ms. Turner, Attorney representing John Thephahanh, Property Owner spoke to the Planning and Zoning Commission. This PUD request is for a duplex development. We will have a privacy fence along the south side of development to buffer from the existing single-family homes. The proposal is compatible with the area and meets the comprehensive plan.

Commissioner Clemmer asked about the private drive noted on plans. Who does private drive belong too?

Loyd Spaugy, Representing applicant stated the private drive is on our property.

Commissioner Helton stated the comprehensive plan map calls for educational-institutional here.

Ms. Turner, Attorney representing John Thephahanh, Property Owner said yes. Our application to rezone is to change from E-I, Educational Institutional to PUD, Planned Unit Development.

Commissioner Williams asked if the primary reason to change zoning to PUD is to change the restrictions.

Ms. Turner, Attorney representing John Thephahanh, Property Owner stated we did get the modification for setbacks, and limits the amount of units we can have on property to eleven duplexes.

After some discussion about comprehensive plan and the PUD request for duplexes, Commissioner Helton read the State Statues 11-43-110 and 11-43-111 on PUD's. Commissioner Helton said he wants the copies of these two statues added to the minutes.

Ray Jones, City Attorney stated the City of Bethany's ordinances comply with State Statues.

Motion was made by James Clemmer, seconded by Sam Thurman to recommend approving the rezoning of 2200 N. Flamingo Ave. from E-I (Educational Institutional) to PUD (Planned Unit Development). The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Ron Crouch, Arvel Williams. NAY- Robert Helton. ABSTAIN - None. The motion carried 5-1-0.

Commissioner Crouch stated he would like to see a comparison of residential setbacks from some of the surrounding cities.

Brett Crecelius, Comm. Dev. Director stated he will make a note to get this information. As we bring ordinances forward, the density and lot standards is on the list to review.

**ITEM 3: PC 26-09**

Consider a final plat request from Loyd Spaugy, Agent for Owner Pelham Partners, LLC and Michael Love, Property Owner to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36th Street and East Divis Ave.

**LEGAL DESCRIPTION:** Lots Two (2), Three (3) and Four (4), in FOREST HIGHLANDS, an addition in Oklahoma County, Oklahoma according to the recorded plat thereof.

**(ITEM TO BE HEARD BY CITY COUNCIL ON MARCH 17, 2026.)**

**ACTION:** Raquelynne Diaz, Comm. Dev. Associate presented the staff report to consider the final plat to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36th Street and East Divis Ave. A rezoning and preliminary plat were recently approved by the City Council. All necessary documents have been submitted to the City for review and feedback. Our engineer, Teim Engineering and Bethany Fire Department has signed off on documents.

Mr. Spaugy, Representing applicant spoke to the Planning and Zoning Commission. The final plat is a little different on the two lots that abut N. Rockwell. We have transitioned that to a detention area for development. We have curbed the street a little bit to allow more area for the detention modifications.

Commissioner Helton stated the PUD's are tied to the intent of the comprehensive plan and ordinances. He submitted copies of State Statues 11-43-110 and 11-43-111 for the minutes.

Ray Jones, City Attorney stated our ordinances comply with State Statues.

Motion was made by Ron Crouch, seconded by James Clemmer to recommend approving the final plat request to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36th Street and East Divis Ave. The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Ron Crouch, Arvel Williams. NAY- Robert Helton. ABSTAIN- None. The motion carried 5-1-0.

**NEW BUISNESS**

Brett Crecelius, Comm. Dev. Director informed the Planning Commission we have a new website and the Planning and Zoning Commission packets and minutes are available on our new website.

PC 26-06  
and  
State  
PC 26-09

are a single-family or a duplex carport, patio cover, storage building, accessory building, pool, or fence.

B. This provision shall not apply to a person or persons performing the construction or remodeling to his, her, or their own single-family or duplex structure on their own property regardless if the construction or remodeling is to a single family or duplex structure that is also for rental purposes, unless the modifications are being performed by and the permit is acquired by a general contractor or subcontractor, in which case the general contractor or subcontractor shall meet the requirements set forth in subsection A of this section.

C. If the entity should require a contractor to register in order to monitor insurance verifications, the registration fee shall not exceed the fee assessed by the entity for other construction trade contractors licensed by the Construction Industries Board.

D. The entity shall not be liable if the documentation provided is false or if the general liability insurance or workers' compensation insurance lapses after the building permit is issued. Added by Laws 2009, c. 206, § 1, eff. Nov. 1, 2009. Amended by Laws 2010, c. 54, § 1, emerg. eff. April 9, 2010.

§11-43-110. Planned unit developments - Zoning ordinances - Required regulations - Notice and hearing - Consideration of requests - Incorporation of other land development ordinances and statutes.

A. As used in this section, "planned unit development" includes cluster housing, planned residential and nonresidential development, community unit plan, and other zoning requirements which are designed to accomplish the objectives of a comprehensive plan and zoning ordinance through a land development project review process based on the application of site planning criteria to achieve integration of the proposed land development project with the characteristics of the project area.

B. A municipal governing body may establish planned unit development requirements and procedures in a zoning ordinance which permit flexibility in the regulation of land development; encourage innovation in land use and variety in design, layout and type of structures constructed; achieve efficiency in the use of land, natural resources, energy and the providing of public services and utilities; encourage useful open space; and provide better housing, employment and shopping opportunities particularly suited to the needs of the residents of the state. The review and approval of a planned unit development shall be made by either the planning commission or the governing body.

C. Within a designated planned unit development, conditions relating to the use of land, including but not limited to, permitted uses, lot sizes, setbacks, height limits, required facilities, buffers, open space areas, lighting, signage, landscaping, parking

and loading, compatibility, and land use density shall be determined in accordance with the planned unit development regulations specified in the zoning ordinance. The planned unit development conditions need not be uniform with regard to each type of land use if equitable procedures recognizing due process principles and avoiding arbitrary decisions have been followed in making regulatory decisions.

D. The planned unit development regulations established by a municipality shall specify the following:

1. The body which shall review and approve planned unit development requests and amend the same;
2. The conditions which create planned unit development eligibility, the persons and agencies involved in the review process, if any, and the requirements and standards upon which applications will be reviewed and approval granted; and
3. The procedures required for application, review and approval.

E. Following receipt of a request for a planned unit development, at least one public hearing shall be held. An ordinance may provide for one or more preapplication conferences before submission of a planned unit development request, and the submission of preliminary site plans before the public hearing. Notification of the public hearing shall be given by mail in the same manner as required by Section 43-106 of this title for public hearings on proposed zoning changes. In addition, a municipality may require notice by posting and/or publication. Within a reasonable time following the public hearing, the body responsible for approving planned unit developments shall deny the request, approve the request, or approve the request with conditions.

1. Should the ordinance require that the municipal governing body amend the ordinance to act on the planned unit development request, the planning commission shall conduct the public hearing and make recommendations on the planned unit development request which shall be transmitted to the municipal governing body for consideration in making a final decision. If an amendment of a zoning ordinance is required by the planned unit development regulations of a municipal zoning ordinance, the requirements of this act for amendment of a zoning ordinance shall be followed.

2. If the planned unit development regulations of a municipal zoning ordinance do not require amendment of the ordinance to authorize a planned unit development, the body charged in the zoning ordinance with review and approval of planned unit developments may approve, approve with conditions, or deny a request.

F. Final approvals may be granted on each phase of multiphased planned unit developments if each phase contains the necessary consideration of the natural environment and the health, safety, and welfare of the users of the planned unit development and the landowners immediately adjacent thereto.

G. In establishing planned unit development regulations, a municipal governing body may incorporate by reference other available and applicable ordinances or statutes which regulate land development. The planned unit development regulations contained in zoning ordinances shall encourage complementary relationships between zoning regulations and other requirements affecting the development of land.

Added by Laws 1990, c. 215, § 1, emerg. eff. May 18, 1990.

§11-43-111. Conditions of approval - Standards of evaluation - Record of conditions.

A. If a municipal zoning ordinance authorizes the consideration and approval of planned unit developments pursuant to Section 2 of this act, or otherwise provides for discretionary decisions, the regulations and standards upon which those decisions are made shall be specified in the ordinance. The standards shall be consistent with, and promote the intent and purpose of the comprehensive plan and/or any ordinances, and promote the land use or activity so as to be compatible with adjacent uses of land, the natural environment, and the planned capacities of public services and facilities affected by the land use. The standards shall also ensure that the land use or activity is consistent with the public health, safety, and welfare of the municipality.

B. Reasonable conditions may be required in conjunction with the approval of a planned unit development. Conditions imposed shall meet the following requirements:

1. Be designed to take into consideration natural environment, the health, safety and welfare of the residents, and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.

2. Be related to the valid exercise of the police power, and to the proposed use or activity.

3. Be necessary to meet the intent and purpose of the zoning requirements; be related to the standards established in the ordinance for the land use or activity under consideration; and be necessary to ensure compliance with those standards.

C. The conditions imposed with respect to the approval of a land use or activity shall be stated in the record of the approval actions, and shall not be changed or amended except as authorized by the zoning ordinance with notice as specified thereby. The approving body shall maintain a record of conditions which are changed.

Added by Laws 1990, c. 215, § 2, emerg. eff. May 18, 1990.

§11-43-112. Site plans - Submission, review and approval - Changes - Validity of prior approved developments.

A. As used in the section, "site plan" means the documents and plans specified in the zoning ordinance needed to ensure that a

City of Bethany  
 Planning & Zoning Staff Report  
 March 5th, 2026

Case Number: PC 26-06

**Request:** Consider a request by Box Law Group, PLLC, on behalf of the Applicant and John Thephahanh, Property Owner, to rezone 2200 N Flamingo Ave from E-I (Educational Institutional) to PUD (Planned Unit Development).

**Current Zoning:** E-I (Educational Institutional)

**Proposed Zoning:** PUD (Planned Unit Development)

**Surrounding Zoning:**

Direction	Zoning
North	C-G (Commercial General)
South	R-1 (Single- Family Residential) & E-I (Educational Institutional)
East	E-I (Educational Institutional)
West	E-I (Educational Institutional)

Table 1

Setbacks	R-M	PUD
Front	25 feet	(North) 10 feet
Side Interior Lots (Minimum)	25 feet	(East) 10 feet
Side Streets and Corner lots (Minimum)	25 feet	(West) 20 feet
Rear	25 feet	(South)10 feet

Table 2 Setbacks

**Background:**

The applicant seeks to rezone the property to a PUD to develop the site into a multi-family residential community consisting of 11 duplexes. Each building will have an approximate footprint of 1,760 square feet. The property is currently an undeveloped lot totaling approximately 2.02 acres, or 87,991.2 square feet.

**Analysis:**

In their application, the applicant notes the comprehensive plan amendment is intended to create a transitional buffer between the existing single-family residential

neighborhood and the more intense multi-family and commercial uses adjacent to the subject property. The design statement further notes that the use and development standards of the R-M Residential Multiple-Family District will govern the PUD.

**Special setback regulations for the PUD.**

North: 10 feet

South: 10 feet

East: 10 feet

West: 20 feet

The site is surrounded by a mix of zoning districts, including Commercial General to the north, Educational Institutional to the east and west, and Single-Family Residential to the south, along with the adjacent Don Brown Park. Any future development must ensure that no portion of the project encroaches upon the public parkland.

The surrounding area includes a variety of higher-density residential zoning districts, such as nearby Residential Multiple-Family areas containing existing apartment developments, as well as an established PUD with quadplexes. The comprehensive plan states that the City of Bethany can utilize PUD provisions to promote mixed-use development. It also identifies a lack of "middle-scale" housing options such as duplexes, townhomes, garden apartments, and condominiums. The proposed rezoning and development align with these comprehensive plan goals by supporting the types of housing.

If the property is rezoned, all building plans must be submitted to City staff for review and approval prior to the issuance of any building permits. This review will ensure compliance with all applicable code requirements and verify that no portion of the development encroaches upon the adjacent public parkland.

**Required Action:** Hold a public hearing to provide a recommendation to either approve or deny the applicants zoning change request.

**Attachments:**

- Zoning Map
- Aerial Photograph
- Water and Sewer Atlas
- Application & Certified Owners List
- Public Notification



E-I  
EDUCATIONAL &  
INSTITUTIONAL



E-I  
EDUCATIONAL &  
INSTITUTIONAL

Ray's Westside  
Tag Agency

Just Kids Productions

NW 23rd St

NW 22nd St

NW 21st St

N Briarcliff

N Glade Ave

NW 21st St

NW 24th St

NW 24th St

NW 23rd St

NW 23rd St

N Flamingo Ave

ins Ave

N Thompkins Ave

NW 23rd St

N Thompkins Ave

N Thompkins Ave

NW 24th St

NW 23rd St

N Thompkins Ave



# City of Bethany

A great place to live, work, shop, and grow a business!

## PACKET A

### REZONING PROCEDURE

1. Check with the Community Development Department to see what your present zoning is and the zone you desire. A list of all current zoning districts and a brief description of each is attached to this packet.
2. Submit a written application to the Bethany Planning and Zoning Commission, setting forth the legal description of the property to be rezoned, the street address or approximate location, the names and addresses of the owners thereof, and the zoning requested. (Application Form attached).
3. The application shall also be accompanied by a list of the names and addresses of all property owners of record within a three hundred (300) foot radius of the exterior boundaries of subject property, current and certified by a bonded abstractor or the County Assessor of Oklahoma County.
4. The Planning Staff will make sure your application is complete, and will calculate your filing fee according to the following schedule. Notice fee for public hearing - **\$150.00**. Agricultural rezoning - **\$438.00**; R-1 rezoning - **\$625.00 + \$13/ac**; R-2 rezoning - **\$813.00 + \$13/ac**; R-M rezoning - **\$1,000.00 + \$13/ac**; C-O and C-R rezoning - **\$625.00 + \$13/ac**; C-G, C-H, E-I and I-L rezoning - **\$875.00 + \$13/ac**; I-H rezoning - **\$1,250.00 + \$13/ac**; PUD rezoning - **\$1,500.00 + \$19/ac**.
5. Return your application, the required accompanying data and the filing fee to the Community Development Department. Once the application has been received and reviewed for completeness, the Community Development Director will schedule your application on the next available Planning & Zoning Commission Agenda.
6. Legal notice of the request will be published in a newspaper of general circulation in the City of Bethany, as required by State Law. At the same time, every property owner within three hundred (300) feet of the exterior boundaries of your property is notified by letter of your request.
7. The Planning Staff will research and analyze your request and prepare a staff report with recommendation, which will be mailed to each member of the Planning and Zoning Commission and to each member of the City Council.

8. At the next scheduled Planning and Zoning Commission meeting, your request will be considered at a public hearing. You will be sent notice of this meeting and you or your representative must be present. The Planning Staff will introduce your request, and you and any interested citizens will have the opportunity to speak to the Commission concerning your request.
9. At the conclusion of this public hearing the Planning Commission, by majority vote, will recommend that the ordinance to accomplish your requested rezoning either be approved or denied. This recommendation will be transmitted to the City Council.
10. When the Planning Commission has acted upon an application for rezoning, an ordinance shall be prepared and introduced before the City Council at a public hearing on the same date as set forth in the notice to property owners provided in the preceding section. The City Council may continue that hearing from time to time, prior to final action thereon.
11. At the public hearing, the City Council will vote either to adopt or reject the proposed rezoning ordinance. You or your representative must be present at this meeting.
12. Both the Planning Commission and the City Council meetings are held in the Council Room (East Wing), Bethany City Hall, 6700 N.W. 36th. The Planning Commission meetings begin at 7:00 P.M. and the City Council meetings begin at 7:30 P.M. The average rezoning case takes about 50 days from the time we receive the application until final approval.

## APPLICATION FOR REZONING

We, the undersigned, being the owners or legal agents for the owners of more than fifty-one percent of the following described property, do hereby make application and petition the City Council to amend the zoning ordinance of the City of Bethany as hereinafter requested.

(PLEASE PRINT OR TYPE)

1. Applicant: Box Law Group, PLLC, on behalf of Applicant Phone#: 405-652-0099  
Address: 525 NW 11th St., Ste. 205
2. Record Property Owner(s): John Thaphachanh Phone#: 405-370-0845  
Address: 3700 N Council Rd.
3. Request rezoning from: E-1  
To: PUD
4. Street address or location: 2200 N Flamingo Ave.
5. Legal description (attach if necessary): Attached.
6. Area of property (sq. ft.): 2 acres MOL
7. The application shall be accompanied by the following:
  - a. Filing Fee.
  - b. Certified list of names and addresses of all property owners of record within three hundred (300) feet of the exterior boundaries of subject property.
  - c. Application for amendment of Comprehensive Plan (if applicable).
8. In order that your application can be heard at the next Planning Commission meeting, the completed application, accompanying information, and filing fees must be submitted before 12:00 noon the day of the deadline.
9. Signature of Applicant: David Box  
Signature of Property Owner: See attached Letter of Authorization

APPLICATION FOR AMENDMENT  
OF THE COMPREHENSIVE PLAN  
FOR THE CITY OF BETHANY

Location and Extent of Requested Amendment (attached map if possible):

Approximately 2 acres at 2200 N Flamingo Ave. (site plan attached)

Present Designation: Public/Institutional

Requested to be changed to: Multi-Family Residential

Justification for Changes (include any change of conditions in the area, proof of the need for the uses allowed under the requested designation, relationships to traffic facilities, and any other evidence which would support the change): The Comprehensive Plan calls for a need in "middle scale" housing, citing that Bethany has a large supply of single-family homes and multi-family apartment but lacks a variety of other housing types such as duplexes, townhomes, garden apartments, or condominiums. The proposed development would consist of a duplexes that are in conformance with the density cap under the Comprehensive Plan. The proposed application is near other Multi-Family designated property, as well as single-family residential development to the south and commercial development to the north. The proposed application and Comprehensive Plan Amendment would allow for a buffer between the existing single-family and more intense multi-family and commercial abutting the subject property.

(attach additional sheets, maps, etc., if necessary)

Applicant: Box Law Group, PLLC, on behalf of Applicant

Address: 525 NW 11th St., Ste. 205

Phone: 405-652-0099

Signature: David Box

## SUMMARY OF ZONING DISTRICTS

1. A Agricultural. This district is designed to protect specific areas within clear zones of Wiley Post Airport where development should remain non-existent and other peripheral areas in which development should be controlled;
2. R-1 Residential One Family. This is the most restrictive residential district. The primary use of land is for single-family dwellings and related recreational, religious, and educational facilities normally required to provide an orderly and attractive residential area. These residential areas are intended to be defined and protected from the encroachment of uses which are not appropriate to residential environment. Internal stability, attractiveness, order and efficiency are encouraged by providing for adequate light, air and open space for dwellings and related facilities and through consideration of the proper functional relationship of the different uses;
3. R-2 Residential Two Family. This is a residential district to provide for a slightly higher population density but with basic restrictions similar to the R-1 District. The primary use of land is for single-family and two-family dwellings and related recreational, religious and educational facilities normally required to provide a balanced and attractive residential area. Internal stability, attractiveness, order and efficiency are encouraged by providing for adequate light, air and open space for dwellings and related facilities and through the consideration of the proper functional relationship of the different uses;
4. R-M Residential Multiple Family. Multiple family dwellings must be developed, due to their location, with maximum compatibility to the surrounding area in which they are located in regard to quality, architectural design and physical orientation. Extensive screening and usable open space will be incorporated into this multi-family usage to maintain the integrity of adjacent living units instead of distracting or decreasing the important life style of the single-family dwelling;
5. PUD, Planned Unit Development. A special zoning district category that provides an alternative approach to conventional land use controls. The PUD provides for greater flexibility in the design of buildings, yards, courts, circulation, and open space that would not be possible through the strict application of other district regulations. In this way, applicants may be awarded certain premiums in return for assurances of overall planning and design quality, or which will be of exceptional community benefit and which are not now required by other regulations.

PUD may be small or large scale developments, incorporating single type or a variety of residential, commercial, industrial and related uses which are planned and developed as a unit. Such development may consist of individual lots, or it may have common building sites.

The specific purposes of the PUD are to:

1. Encourage comprehensive and innovative land development with appropriate limitations on the character and intensity of use that assures compatibility with surrounding uses and achieves the goals and objectives of the Bethany Comprehensive Land Use Plan.
2. Encourage more efficient use of land capitalizing on optimum arrangements of buildings and uses thereby reducing infrastructural costs without sacrificing quality of service.
3. Permit flexibility within the development maximizing the unique physical characteristics of the site and respecting the natural features of the area.
4. Achieve a continuity of function and design within the development and in relation to surrounding areas.
5. Provide a maximum choice of dwelling units and arrangements responsive to consumer demands.
6. Provide a mechanism for mitigating possible negative impacts of new development in transitional areas where traditional requirements are not adequate.
6. MHP Mobile Home Park. This is a residential district to be occupied by mobile homes;
7. C-0 Commercial Office. The district provides for office buildings, accessory uses and restricted commercial activities. Buildings and premises in this district shall be used only for the purposes hereinafter set forth and no article or material shall be kept, stored or displayed outside the confines of a building;
8. C-R Commercial Restricted. This district is intended for the conduct of retail trade and personal service enterprises to meet certain regular needs of the community. It does not, however, permit outside display of merchandise nor does it allow for certain uses which involve the use of heavy equipment, repair of motor vehicles or equipment, or certain other retail uses which are allowed in the Commercial General District.
9. C-G Commercial General. Intended for the conduct of general trade and personal service enterprises, this district meets certain regular needs and is for the convenience of residents of the community. Persons living in the community require direct and frequent access to this district. Therefore, this district should not be located in areas which will affect the internal stability of residential areas. Traffic generated by uses permitted in this district will primarily be passenger vehicles and only those trucks and commercial vehicles required for stocking and delivery of retail goods;

10. C-H Commercial Highway. This unrestricted commercial district is intended to provide suitable locations for those commercial activities appropriate to location and dependent on N.W. 39th Expressway. These activities typically require direct auto traffic access and visibility from the road, and therefore shall be located only in the vicinity of N.W. 39th Expressway or the service drives thereof; and

11. CBD Central Business. The district is designed to be the central business district or downtown shopping center for the community and surrounding trade area as delineated in the comprehensive plan. The area is further defined as properties in and closely surrounding the original townsite of Bethany. This district is intended to provide space for retailing, professional offices, financial institutions, governmental offices, amusement facilities and transient residential facilities. (Ord. #1421; 4-19-88)

12. I-L Industrial Light. This is intended primarily for manufacturing and assembly plants that are conducted so the noise, odor, dust and glare of each operation is completely confined within an enclosed building. These industries may require direct access to rail, air or street transportation facilities;

13. I-H Industrial Heavy. This district is intended primarily for the conduct of heavier manufacturing, assembly and fabrication, and for wholesale and service uses. These do not depend primarily on frequent personal visits of customers or clients, but may require good accessibility to major rail, air or street transportation uses.

14. E-I Educational and Institutional. This district is established to provide a location for institutions of higher education, and other institutional uses of a public or quasi-public educational, medical, religious or eleemosynary nature, which requires a complex of buildings developed on a campus where maximum flexibility of density and use of buildings and facilities is desirable.

(\* Specific Zoning District Regulations governing permitted uses, area, height and bulk requirements are available upon request.)

**THE CITY OF BETHANY**  
**PLANNED UNIT DEVELOPMENT DISTRICT**  
**PUD- \_\_\_\_\_**

**MASTER DESIGN STATEMENT FOR**  
**Flamingo Square**

January 19, 2026  
January 23, 2026

**PREPARED FOR:**

Jay London Homes  
550 NE 24<sup>th</sup> St.  
Newcastle, OK 73065  
(405) 494-0204  
jaylondonhomes@gmail.com

**PREPARED BY:**

BOX LAW GROUP, PLLC  
David Box  
Kaitlyn Turner  
525 NW 11<sup>th</sup> St., Ste. 205  
Oklahoma City, OK 73103  
405-652-0099 Phone  
[david@boxlawgroup.com](mailto:david@boxlawgroup.com)  
[kaitlyn@boxlawgroup.com](mailto:kaitlyn@boxlawgroup.com)

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**SECTION 1.0 ..... INTRODUCTION**

The Planned Unit Development (PUD) of Flamingo Square, consisting of approximately 2 acres, is located within the Northwest Quarter (NW/4) of Section 29, Township 12 N, Range 4 W, of the Indian Meridian, Oklahoma County, Oklahoma.

**SECTION 2.0 ..... LEGAL DESCRIPTION**

The legal description of the property comprising this PUD is described in Exhibit A, attached, and is made a part of this Master Design Statement.

**SECTION 3.0 ..... OWNER/DEVELOPER**

The owner of this property is John Thaphachanh. The developer of this property is Jay London Homes.

**SECTION 4.0 ..... SITE AND SURROUNDING AREA**

The subject property is presently zoned for E-1 Educational & Institutional. Surrounding properties are zoned and used for:

- North: E-1 and C-G District and used for commercial development.
- East: E-1 District and used for commercial development.
- South: R-1 District and used for residential development.
- West: E-1 District and used for commercial development.

The relationship between the proposed use of this parcel and the above adjoining land uses is compatible. The proposed use of this property is in harmony with the surrounding zoning.

**SECTION 5.0 .....PHYSICAL CHARACTERISTICS**

The property is currently undeveloped.

**SECTION 6.0 .....CONCEPT**

The concept for this PUD is to change the existing base zoning to a base zoning that will permit a townhome development.

**SECTION 7.0..... SERVICE AVAILABILITY**

**7.1 ..... STREETS**

The nearest street to the north is NW 23<sup>rd</sup> St. The nearest street to the east is N Glade Ave. The nearest street to the south is NW 21<sup>st</sup> St. The nearest street to the west is N Flamingo Ave.

**7.2 ..... SANITARY SEWER**

Public sanitary sewer facilities for this property are available. Sanitary sewer services will be provided from public mains.

7.3 ..... WATER

Water facilities for this property are available. Water services will be provided from public mains.

7.4 ..... FIRE PROTECTION

The nearest fire station to this property is the Bethany Fire Department located at 3919 N Rockwell Ave. It is approximately 1.8 miles from this PUD development.

7.5 .....GAS, ELECTRICAL, AND TELEPHONE SERVICE

Proper coordination with the various utility companies will be made in conjunction with this development.

7.6 ..... PUBLIC TRANSPORTATION

Public Transportation is currently unavailable adjacent to this site.

7.7 ..... DRAINAGE

The property within this Planned Unit Development is not within a FEMA flood plain.

**SECTION 8.0.....SPECIAL DEVELOPMENT REGULATIONS**

The following Special Development Regulations and/or limitations are placed upon the development of the PUD. Planning and zoning regulations will be those, which are in effect at the time of development of this PUD, provided, however, that the density and or intensity of the PUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this PUD. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Bethany's Planning and Zoning Code as such exists at the time of development of this PUD. In the event of conflict between provisions of this PUD and any of the provisions of the Bethany Municipal Code, as amended, in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this PUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, such Special Use and Development Regulations of this PUD shall prevail and be controlling.

8.1.....USE AND DEVELOPMENT REGULATIONS

The use and development regulations of the R-M Residential Multiple Family District shall govern this PUD, except as herein modified.

**All uses within the R-M District shall be permitted, except that it shall be limited to 11 duplexes and there shall be a maximum of 22 dwelling units within this PUD.**

**9.0.....SPECIAL CONDITIONS**

The following special conditions shall be made a part of this PUD:

**9.1.....FAÇADE REGULATIONS**

Exterior building wall finish on all structures shall consist of a minimum 70% LP Smart Cedar texture composited siding or other similar type finish. No more than 30% EIFS (Exterior Insulation Finish System) shall be permitted. Exposed concrete block buildings shall not be permitted.

**9.2 ..... LANDSCAPING REGULATIONS**

The subject parcel shall meet all requirements of the City of Bethany's Landscaping Ordinance in place at the time of development.

**9.3 ..... LIGHTING REGULATIONS**

The site lighting in this PUD shall be in accordance with the Bethany Municipal Code.

**9.4 ..... SCREENING REGULATIONS**

No less than a six-foot and no greater than an eight-foot-high wall or fence shall be required along the boundary of this parcel where it is adjacent to any residential use. Said wall or fence shall be constructed entirely of stucco, brick, or stone on a continuous footing, or may be constructed of wood and shall be solid and opaque.

**9.5 ..... SUBDIVISION REGULATIONS**

Subdivision shall conform to the Bethany Subdivision Regulations, as amended.

**9.6 ..... DRAINAGE REGULATIONS**

Development of this parcel will comply with the Bethany Municipal Code.

**9.7 ..... DUMPSTER REGULATIONS**

Dumpsters, if any, shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets and residences and shall be placed no closer than 25 feet from all property lines adjacent to residential zoning district or use.

**9.8 ..... ACCESS REGULATIONS**

Access may be taken from the private drive as shown on Exhibit B and N Flamingo Ave.

9.9 ..... PARKING REGULATIONS

The design and number of all parking facilities in this PUD shall be in accordance with the Bethany Municipal Code.

9.10 ..... SIGNAGE REGULATIONS

Per Code.

9.11 ..... ROOFING REGULATIONS

Each structure in this PUD shall have architectural style shingles or better.

9.12 ..... SIDEWALK REGULATIONS

Five (5) foot sidewalks shall be constructed on the arterial street with each development parcel, or six (6) foot sidewalks shall be required if the sidewalk is constructed adjacent to the curb, subject to the policies and procedures of the Public Works Department. Four (4) foot sidewalks shall be constructed on the interior streets prior to any occupancy certificates being issued.

9.13 ..... HEIGHT REGULATIONS

The base zoning district regulations shall regulate heights of structures in this PUD.

9.14 ..... SETBACK REGULATIONS

Setback regulations shall be as follows as measured from the PUD boundary line to the nearest building line:

- North: 10 feet
- South: 10 feet
- East: 10 feet
- West: 20 feet

9.15 ..... PUBLIC IMPROVEMENTS

Public improvements shall be made by the property owner throughout the PUD as required by the City of Bethany Public Works Department or other City, County, or State Department or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

9.16 ..... COMMON AREAS

Maintenance of the common areas, private drainage easements, private drives, and islands / medians in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such

as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

**10.0 ..... DEVELOPMENT SEQUENCE**

Developmental phasing shall be allowed as a part of the development of this PUD.

**11.0 ..... EXHIBITS**

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

Exhibit A - Legal Description

Exhibit B - Conceptual Master Development Plan

**Exhibit A: Legal Description**

A tract of land located in the NE/4 of the NW/4 of Section 29, Township 12 North, Range 4 West of the Indian Base and Meridian, Oklahoma County, State of Oklahoma, being more particularly described as follows:

Commencing at the Northeast Corner of said NE/4 of the NW/4;

Thence S00°10'35"E along the East line thereof, a distance of 220.00 feet;

Thence S89°29'14"W parallel to the North line of said NE/4 of the NW/4, a distance of 395.00 feet to the Point of Beginning;

Thence S57°31'32"W, a distance of 233.78 feet;

Thence Southeasterly on a curve to the left having a radius of 745.06 feet, an arc length of 210.71 feet and a chord bearing S32°24'59"E, a distance of 210.01 feet;

Thence Southeasterly on a curve to the right having a radius of 737.73 feet, an arc length of 172.32 feet and a chord bearing S32°24'59"E, a distance of 171.93 feet;

Thence N54°23'10"E, a distance of 126.42 feet;

Thence Northeasterly along a curve to the right having a radius of 414.74 feet, an arc length of 30.78 feet and a chord bearing N56°28'47"E, a distance of 30.77 feet;

Thence N20°49'50"W, a distance of 382.35 feet to the Point of Beginning.

**Exhibit A: Legal Description**

A tract of land located in the NE/4 of the NW/4 of Section 29, Township 12 North, Range 4 West of the Indian Base and Meridian, Oklahoma County, State of Oklahoma, being more particularly described as follows:

Commencing at the Northeast Corner of said NE/4 of the NW/4;

Thence S00°10'35"E along the East line thereof, a distance of 220.00 feet;

Thence S89°29'14"W parallel to the North line of said NE/4 of the NW/4, a distance of 395.00 feet to the Point of Beginning;

Thence S57°31'32"W, a distance of 233.78 feet;

Thence Southeasterly on a curve to the left having a radius of 745.06 feet, an arc length of 210.71 feet and a chord bearing S32°24'59"E, a distance of 210.01 feet;

Thence Southeasterly on a curve to the right having a radius of 737.73 feet, an arc length of 172.32 feet and a chord bearing S32°24'59"E, a distance of 171.93 feet;

Thence N54°23'10"E, a distance of 126.42 feet;

Thence Northeasterly along a curve to the right having a radius of 414.74 feet, an arc length of 30.78 feet and a chord bearing N56°28'47"E, a distance of 30.77 feet;

Thence N20°49'50"W, a distance of 382.35 feet to the Point of Beginning.



Mail tax statement to:  
Grantee  
John Thaphachanh :  
3700 N. Council Road  
Bethany, OK 73008

Rec. & Ret. to:  
American Eagle Title Group  
421 NW 13th St, Suite 320  
Oklahoma City, OK 73103

### QUIT CLAIM DEED

KNOW ALL MEN BY THESE PRESENTS: That Rymar Investments, LLC (the "Grantor"), in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, does hereby grant, bargain, sell, convey and quitclaim unto John Thaphachanh (the "Grantee"), a certain tract of real property situated in Oklahoma County, Oklahoma, described as follows, to wit:  
\*\* whose address is 3700 N. Council Road, Bethany, OK 73008  
See exhibit "A" attached hereto.

NOTE: Deed is being filed to correct and clarify legal description of Deed at Book 15464, Page 1927, and Book 15709, Page 1050.

together with all the improvements thereon and appurtenances thereunto belonging.

TO HAVE AND TO HOLD said described premises unto the Grantee, and Grantee's successors and assigns forever.

EXECUTED and delivered this 28<sup>th</sup> day of August, 2024

*Colleen Marotta*, manager  
Colleen Marotta, Manager

### ACKNOWLEDGEMENT

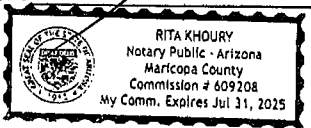
STATE OF Arizona )  
COUNTY OF Maricopa ) ss.

Before me, the undersigned, a Notary Public in and for said County and State on this 28<sup>th</sup> day of August, 2024, personally appeared Colleen Moratta, Manager of Rymar Investments, LLC, to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that s/he executed the same as her/his free and voluntarily act and deed for the uses and purposes set forth therein.

Given under my hand and seal of office the day and year at above written.

Notary Public *Rita Khoury*

My commission expires: July 31, 2025



EXEMPT DOCUMENT STAMPS TAX OS TITLE 66  
ARTICLE 32 SECTION 3202 PARAGRAPH 3

2304-0003-601

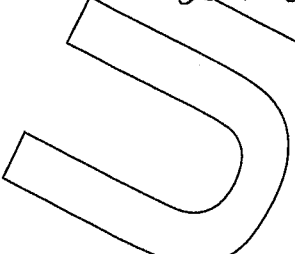


Exhibit "A"

Tract "B":

A tract of land located in the NE/4 of the NW/4 of Section 29, Township 12 North, Range 4 West of the Indian Base and Meridian, Oklahoma County, State of Oklahoma, being more particularly described as follows: Commencing at the Northeast Corner of said NE/4 of the NW/4; Thence S 00°10'35" E along the East line thereof, a distance of 220.00 feet; Thence S 89°29'14" W parallel to the North line of said NE/4 of the NW/4, a distance of 395.00 feet to the point of beginning; Thence S 57°31'32" W, a distance of 233.78 feet; Thence Southeasterly on a curve to the LEFT having a radius of 745.06 feet, an arc length of 210.71 feet and a chord bearing S 32°24'59" E, a distance of 210.01 feet; Thence Southeasterly on a curve to the RIGHT having a radius of 737.73 feet, an arc length of 172.32 feet and a chord bearing S 32°24'59" E, a distance of 171.93 feet; Thence N 54°23'10" E, a distance of 126.42 feet; Thence Northeasterly along a curve to the RIGHT having a radius of 414.74 feet, an arc length of 30.78 feet and a chord bearing N 56°28'47" E, a distance of 30.77 feet; Thence N 20°49'50" W, a distance of 382.35 feet to the point of beginning.

RE:2304-0003-61

UNOFFICIAL





**CERTIFICATE OF BONDED ABTRACTOR**  
**(300 FEET RADIUS REPORT)**

STATE OF OKLAHOMA                    )  
  ) §:  
COUNTY OF OKLAHOMA                )

The undersigned bonded abstractor in and for Oklahoma County, State of Oklahoma, does hereby certify that the following Ownership is true and correct according to the current year's tax rolls in the office of the County Treasurer of Oklahoma County, Oklahoma, as updated by the records of the County Clerk of Oklahoma County, Oklahoma; that the owners, as reflected by said records, are based on the last conveyance or final decree of record of certain properties located within 300 feet in all directions of the following described land:

See Attached Exhibit

and find the following owners, addresses and brief legal descriptions on the attached pages numbered from (1) to (3 ), both inclusive.

*NOTICE TO CUSTOMERS: This report is released with the understanding that the information is strictly confidential. This report contains information from public land records only and is not to be construed as an abstract of title, opinion of title, title commitment, title insurance policy, or environmental research report. As used herein, the term "public land records" means those land records which under the recording laws of the applicable state, impart constructive notice to the third parties with respect to recorded, unreleased or record instruments memorializing legal interests in real estate. The company suggests that you contact your attorney for matters of a legal nature or legal opinion. We have exercised due care and diligence in preparing this report, however, the Abstractor does not guarantee validity of the title and acceptance of this report by the Company or person(s) for whom this report is made, constitutes agreement and confirmation of the limitation of this report.*

Dated: January 7, 2026 at 7:30 AM

**First American Title Insurance Company**

By: *Steven Jakowski*

Steven Jakowski  
Abstractor License No. 4192  
OAB Certificate of Authority # 0049  
File No. 2972425-OK99

MAP NO	ACCOUNT NO	NAME 1	NAME 2	MAILING ADDRESS	CITY	STATE	ZIP CODE	SUB NAME	BLOCK	LOT	LEGAL	LOCATION
2916	R173800901	THAPHACHANH JOHN		3700 N COUNCIL RD	BETHANY	OK	73008-3130	UNPLTD PT SEC 29 12N 4W	0	0	UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W OF NE/C NW/4 TH W150FT S321.51FT NELY ALONG A CURVE 137.50FT E15FT N300FT TO BEG PLUS A TR BEG 180FT W & 220FT S OF NE/C NW/4 TH W215FT SWLY233.78FT SELY ALONG A CURVE 210.71FT SELY ALONG A REVERSE CURVE 172.32FT NELY126.42FT NELY ALONG A CURVE 119.02FT N321.51FT TO BEG EX A TR BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG (SUBJECT PROPERTY)	2200 N FLAMINGO AVE BETHANY
2879	R173961000	GULLEY INVESTMENT PROPERTIES LLC		7501 NW 23RD ST	BETHANY	OK	73008-4941	DEVILLE PARK 5TH	0	0	DEVILLE PARK 5TH 000 000 E193FT OF W600FT OF BLK 1	0 UNKNOWN BETHANY
2879	R173961002	KD INVESTMENT GROUP LLC		PO BOX 893044	OKLAHOMA CITY	OK	73189	DEVILLE PARK 5TH	0	0	DEVILLE PARK 5TH 000 000 W407FT OF BLK 1	7601 NW 23RD ST BETHANY
2879	R173961003	BALENSEIFEN MARK		1103 E FOREMAN RD	YUKON	OK	73099	DEVILLE PARK 5TH	0	0	DEVILLE PARK 5TH 000 000 E135FT OF W735FT OF BLK 1	7505 NW 23RD ST BETHANY
2879	R173931040	B M WESTERN OAKS LLC		5014 16TH AVE UNIT 231	BROOKLYN	NY	11204	DON BROWNS WESTERN OAKS 3RD	2	1	DON BROWNS WESTERN OAKS 3RD 002 001	7402 NW 23RD ST BETHANY
2913	R173931050	CITY OF BETHANY		PO BOX 219	BETHANY	OK	73008	DON BROWNS WESTERN OAKS 3RD	2	2	DON BROWNS WESTERN OAKS 3RD 002 002 EXEMPT	0 UNKNOWN BETHANY
2913	R173944000	WELLS JAMES		7413 NW 21ST ST	BETHANY	OK	73008-5640	DON BROWN WESTERN OAKS SEC 4	0	4	DON BROWN WESTERN OAKS SEC 4 000 004	7413 NW 21ST ST BETHANY

OWNERSHIP REPORT  
ORDER 2972425-OK99

EFFECTIVE DATE: JANUARY 7, 2026 AT 7:30 AM

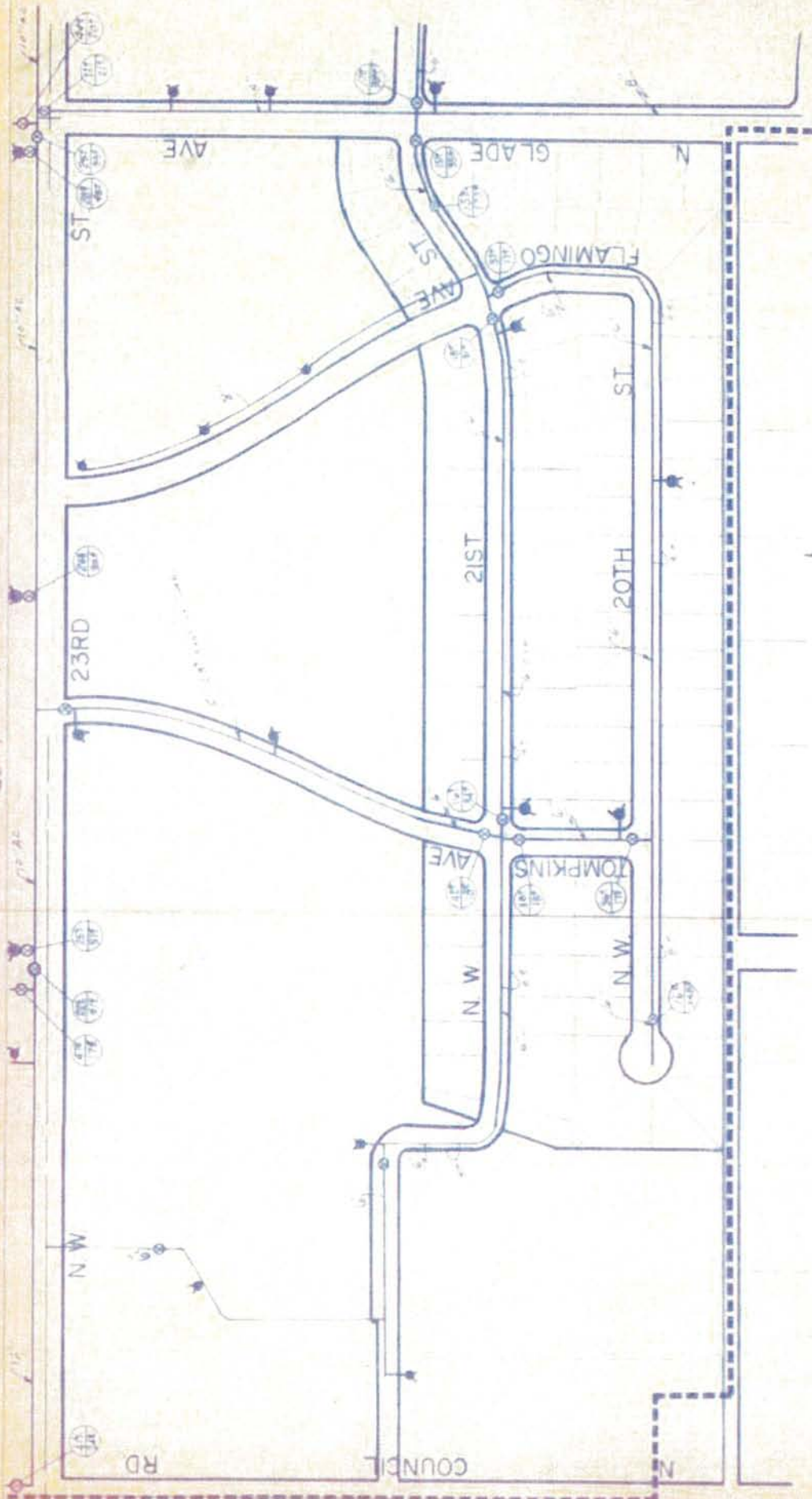
2916	R173800890	BENSASSI MOHAMMED	HARROUDI MOHAMED	7500 NW 23RD ST	BETHANY	OK	73008-4942	UNPLTD PT SEC 29 12N 4W	0	0	UNPLTD PT SEC 29 12N 4W 000 000 PT NW4 SEC 29 12N 4W BEG NE/C OF NW4 TH S220FT W230FT N220FT E230FT TO BEG TR 8 SUBJ TO ESMTS OF RECORD	7500 NW 23RD ST BETHANY
2916	R173800903	PCD BETHANY REAL ESTATE LLC		211 COMMERCE CT	POITSTOWN	PA	19464	UNPLTD PT SEC 29 12N 4W	0	0	UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG	UNKNOWN
2916	R173800910	CITY OF BETHANY		PO BOX 219	BETHANY	OK	73008	UNPLTD PT SEC 29 12N 4W	0	0	UNPLTD PT SEC 29 12N 4W 000 000 PT OF NW4 SEC 29 12N 4W BEG 685FT W OF NE/C OF NW4 S50FT SLY 533.35FT SELY 198.69FT SWLY 134.18FT W735FT WLY 89.33FT NELY ON A CURVE 747.33FT N50FT E400FT TO BEG KNOWN AS TR 3 EXEMPT	7600 NW 23RD ST BETHANY
2916	R173800915	AKY PRESTIGE WORLDWIDE LLC		PO BOX 891625	OKLAHOMA CITY	OK	73189	UNPLTD PT SEC 29 12N 4W	0	0	UNPLTD PT SEC 29 12N 4W BLK 000 LOT 000 PT NW4 SEC 29 12N 4W BEG 230FT W & 50FT S OF NE/C NW4 TH S170FT W165FT SWLY 233.7FT NLY ON A CURVE 276.13FT NELY ALONG A CURVE 40.14FT E399.27FT TO BEG OR TR 10	7530 NW 23RD ST BETHANY
2916	R173831000	FEARING WILLIAM R F & KELLI M		7501 NW 21ST ST	BETHANY	OK	73008-5409	DEVILLE PARK 3RD	1	1	DEVILLE PARK 3RD 001 001	7501 NW 21ST ST BETHANY
2916	R173831010	TEIRA ALEJANDRO		PO BOX 265	BETHANY	OK	73008-0265	DEVILLE PARK 3RD	1	2	DEVILLE PARK 3RD 001 002	7505 NW 21ST ST BETHANY
2916	R173831020	STREET MASON STEVEN		7509 NW 21ST ST	BETHANY	OK	73008	DEVILLE PARK 3RD	1	0	DEVILLE PARK 3RD 001 000 ALL OF LOT 3 & E11FT OF LOT 4	7509 NW 21ST ST BETHANY
2916	R173831030	BURHART NEVIN DALE & BURHART JANICE ESTHER TRS	BURHART EVIN & JAN EMILY TRUST	7513 NW 21ST ST	BETHANY	OK	73008-5409	DEVILLE PARK 3RD	1	0	DEVILLE PARK 3RD 001 000 ALL OF LOT 4 EXE11FT	7513 NW 21ST ST BETHANY
2916	R173831040	MCGUIRE WYATT ALLEN		200 E 10TH ST	EDMOND	OK	73034	DEVILLE PARK 3RD	2	1	DEVILLE PARK 3RD 002 001	7601 NW 21ST ST BETHANY

2916	R173831055	GRAHAM LOUJANNA KRISTI	DANIELS KAMU DIA	7605 NW 21ST ST	BETHANY	OK	73008- 5411	DEVILLE PARK 3RD	2	2	DEVILLE PARK 3RD 002 002	7605 NW 21ST ST BETHANY
2916	R173831060	SANTIZO NILSETH EUNICE CIFUENTES		7609 NW 21ST ST	BETHANY	OK	73008	DEVILLE PARK 3RD	2	3	DEVILLE PARK 3RD 002 003	7609 NW 21ST ST BETHANY
2916	R173831070	ESTRADA GILBERTO MAGANA		7613 NW 21ST ST	BETHANY	OK	73008- 5411	DEVILLE PARK 3RD	2	4	DEVILLE PARK 3RD 002 004	7613 NW 21ST ST BETHANY
2916	R173831080	KINSEL JAYNA M		7617 NW 21ST ST	BETHANY	OK	73008- 5411	DEVILLE PARK 3RD	2	5	DEVILLE PARK 3RD 002 005	7617 NW 21ST ST BETHANY
2916	R173831380	ELLIS THEODORE A		7600 NW 21ST ST	BETHANY	OK	73008	DEVILLE PARK 3RD	5	1	DEVILLE PARK 3RD 005 001	7600 NW 21ST ST BETHANY
2916	R173831390	BLOOMER DENNIS & BETTY E TRS	BLOOMER FAMILY REV TRUST	7604 NW 21ST ST	BETHANY	OK	73008- 5412	DEVILLE PARK 3RD	5	0	DEVILLE PARK 3RD 005 000 ALL LOT 2 EX W9FT	7604 NW 21ST ST BETHANY
2916	R173831400	HADICK BRAHK C		7608 NW 21ST ST	BETHANY	OK	73008- 5412	DEVILLE PARK 3RD	5	0	DEVILLE PARK 3RD 005 000 W9FT OF LOT 2 & LOT 3 EX W15FT	7608 NW 21ST ST BETHANY
2916	R173831410	KUSS KRISTOPHER J	KUSS DANYELLE M	7612 NW 21ST ST	BETHANY	OK	73008	DEVILLE PARK 3RD	5	0	DEVILLE PARK 3RD 005 000 W15FT OF LOT 3 & E55FT OF LOT 4	7612 NW 21ST ST BETHANY
2916	R173831710	ELLINGTON CHARLES F		2113 N GLADE AVE	BETHANY	OK	73008- 5425	DEVILLE PARK 3RD	6	0	DEVILLE PARK 3RD 006 000 N60FT OF LOT 6	2113 N GLADE AVE BETHANY
2916	R173831720	LUBINSKI JOHN TRS	LUBINSKI JOHN REV TRUST	2119 N GLADE AVE	BETHANY	OK	73008- 5425	DEVILLE PARK 3RD	6	7	DEVILLE PARK 3RD 006 007	2119 N GLADE AVE BETHANY
2916	R173831730	MARTIN ERIC D & ASHLEY N		7508 NW 21ST ST	BETHANY	OK	73008	DEVILLE PARK 3RD	6	8	DEVILLE PARK 3RD 006 008	7508 NW 21ST ST BETHANY
2916	R173831740	CHILDERS AMBER D		2112 N FLAMINGO AVE	BETHANY	OK	73008	DEVILLE PARK 3RD	6	9	DEVILLE PARK 3RD 006 009	2112 N FLAMINGO AVE BETHANY

20-4

29-8

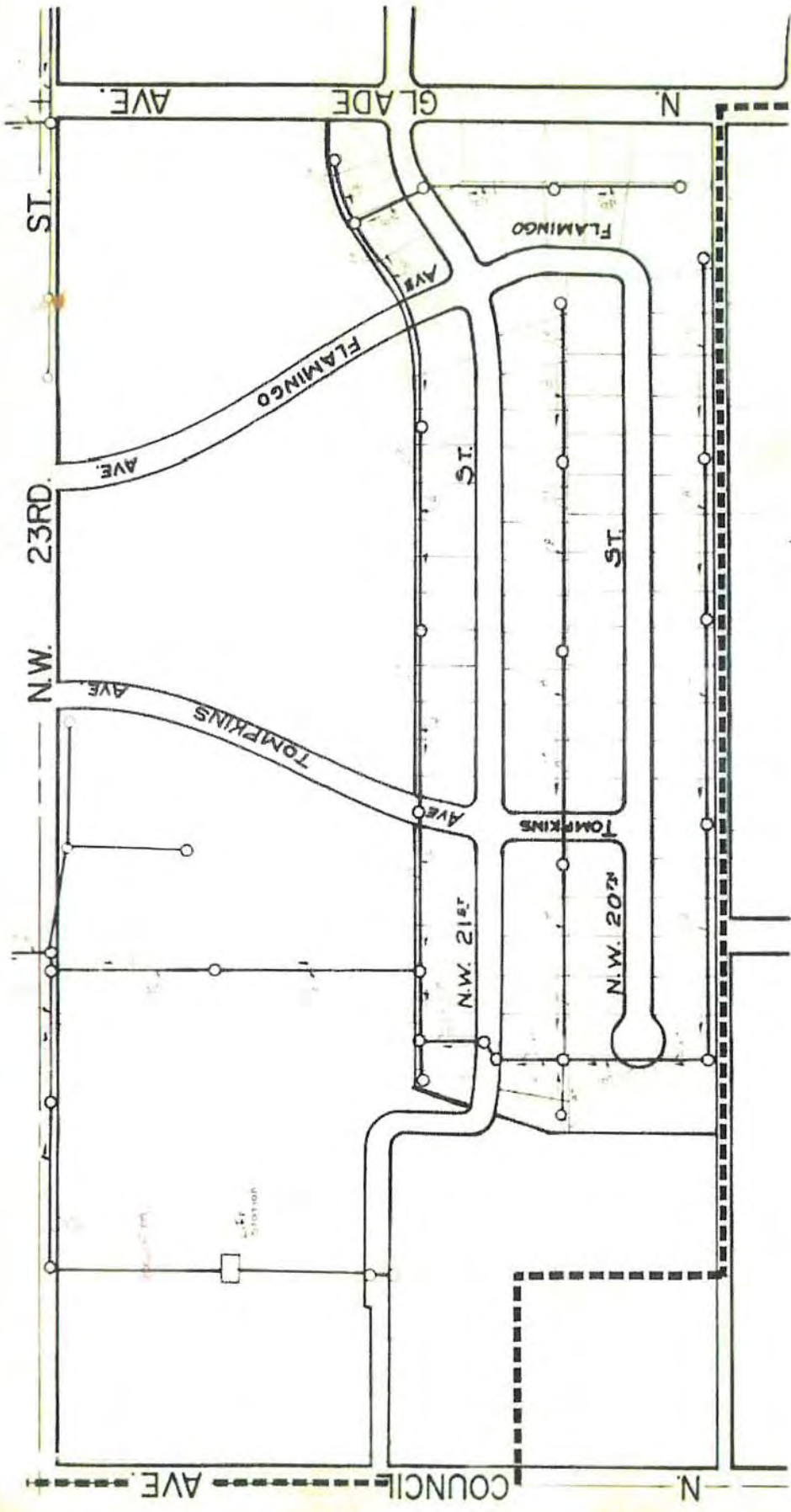
29-1



SCALE 1" = 200'

THIS MAP WAS PREPARED FOR THE OKLAHOMA INDUSTRIAL DEVELOPMENT AND PARK DEPARTMENT, STATE PLANNING AGENCY, AND WAS FINANCED IN PART THROUGH AN URBAN PLANNING GRANT FROM THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, UNDER THE PROVISIONS OF SECTION 701 OF THE HOUSING ACT OF 1954, AS AMENDED.

20-4



THIS MAP WAS PREPARED FOR THE OKLAHOMA INDUSTRIAL DEVELOPMENT AND PARK DEPARTMENT, STATE PLANNING AGENCY, AND WAS FINANCED IN PART THROUGH AN URBAN PLANNING GRANT FROM THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, UNDER THE PROVISIONS OF SECTION 701 OF THE HOUSING ACT OF 1954, AS AMENDED.

SCALE 1" = 200'

29-1

29 6

# BETHANY *Oklahoma*

## Department of Planning & Community Development

February 9th, 2026

**NOTICE OF HEARING  
COMMISSION**

**PLANNING & ZONING  
AND CITY COUNCIL**

Dear Property Owner:

This notice is to inform you that a neighboring property owner has filed an application with the Bethany Planning Department to rezone their property. All rezoning applications within the City limits are reviewed by the Planning and Zoning Commission at a public hearing to determine whether the proposal is in conformity with the Comprehensive Plan for the City of Bethany.

We would like to emphasize that the Planning and Zoning Commission does not make the final decision on whether or not to approve the application; it simply makes recommendations on zoning matters to the City Council. The final decision is made by the City Council in a second hearing.

Attached to this notice is information on the hearing dates, the location of the property, and the zoning category requested. During the public hearings, the applicant for the zoning change presents his case, and all interested property owners in the surrounding area are invited to appear and state whether they are for or against the proposal.

Your participation in these proceedings can affect the outcome.

If you have any questions regarding this notice, please contact the Community Development Director. Call (405) 789-6005.

A. Rezoning Proposal

1. Case No.: 26-06
2. Location of Property: 2200 N Flamingo Ave

3. Legal Description: UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W OF NE/C NW/4 TH W150FT S321.51FT NELY ALONG A CURVE 137.50FT E15FT N300FT TO BEG PLUS A TR BEG 180FT W & 220FT S OF NE/C NW4 TH W215FT SWLY233.78FT SELY ALONG A CURVE 210.71FT SELY ALONG A REVERSE CURVE 172.32FT NELY126.42FT NELY ALONG A CURVE 119.02FT N321.51FT TO BEG EX A TR BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG \_\_\_\_\_
4. Present Zoning: E-I (Educational Institutional) \_\_\_\_\_
5. Proposed Zoning: PUD (Planned Unit Development) \_\_\_\_\_

B. Hearing Schedule

1. The Planning and Zoning Commission hearing on the proposed rezoning will be held on March 5<sup>th</sup>, 2026, at 6:30 P.M. At this hearing, any interested citizen will have the opportunity to speak to the Commission concerning the proposed zoning change. The Commission will vote on whether to recommend approval or disapproval of the proposed rezoning. **IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS HEARING.**
2. The City Council Hearing will be held on March 17<sup>th</sup>, 2026, at 6:30 P.M. At this hearing, any interested citizens will have the opportunity to speak to the City Council concerning the request. The City Council will vote either to adopt or reject the proposed rezoning ordinance. **IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS MEETING.**

C. Location of Hearings

Both the Planning and Zoning Commission and City Council hearings are held in the Bethany City Council Chambers in City Hall.

E. Map



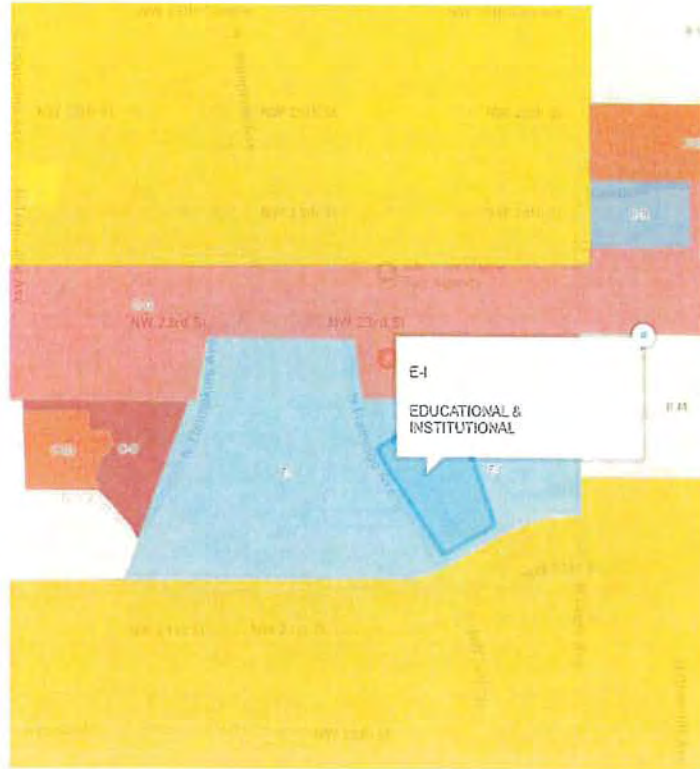
## NOTICE OF PUBLIC HEARING

On March 5th, 2026, at 6:30 p.m. the Bethany Planning and Zoning Commission will, during its regular session, hold a public hearing at Bethany City Hall, 6700 N.W. 36<sup>th</sup> St., Bethany, OK 73008 for the following: Consider a request by Box Law Group, PLLC, on behalf of the Applicant and John Thephahanh, Property Owner, to rezone 2200 N Flamingo Ave from E-I (Educational Institutional) to PUD (Planned Unit Development).

Following the public hearing the Bethany Planning & Zoning Commission will vote on the request and forward a recommendation to the Bethany City Council, which in turn will hear this case on March 17, 2026, at 6:30 p.m. At that meeting a second public hearing will be held and following the hearing the Council will vote to approve or deny the request.

The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not the necessary accommodation.

**Legal Description and Properties:** UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W OF NE/C NW/4 TH W150FT S321.51FT NELY ALONG A CURVE 137.50FT E15FT N300FT TO BEG PLUS A TR BEG 180FT W & 220FT S OF NE/C NW4 TH W215FT SWLY233.78FT SELY ALONG A CURVE 210.71FT SELY ALONG A REVERSE CURVE 172.32FT NELY126.42FT NELY ALONG A CURVE 119.02FT N321.51FT TO BEG EX A TR BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG



\*\*\*\*\* REPRINT RECEIPT\*\*\*\*\*

REC#: 01402813 1/27/2026 2:23 PM  
OPER: kp TERM: 003  
REF#: 1391

TRAN: 540.0000 COMM DEV RECEIPTS  
REZONING PUD 2200 N FLAMINGO A  
LONDON INVEST LLC CK #1391  
010-39010  
MISCELLANEOUS REVEN 1,688.00CR

TENDERED: 1,688.00 CHECK  
APPLIED: 1,688.00-

CHANGE:            0.00

\*\*\* CITY HALL WILL BE CLOSED\*\*\*  
MONDAY FEBRUARY 16TH IN OBSERVANCE OF  
PRESIDENTS DAY. TRASH MAKE UP DAY  
WILL BE WED FEB THE 18TH.

ORDINANCE NO. 2091

AN ORDINANCE AMENDING THE ZONING ORDINANCES, MAP, AND COMPREHENSIVE PLAN OF THE CITY OF BETHANY, OKLAHOMA, BY INCLUDING IN THE PUD, PLANNED UNIT DEVELOPMENT DISTRICT, THE PROPERTY DESCRIBED 2200 N FLAMINGO AVE FROM E-I (EDUCATIONAL INSTITUTIONAL) TO PUD (PLANNED UNIT DEVELOPMENT) BETHANY, OKLAHOMA COUNTY AS MORE PARTICULARLY DESCRIBED HEREINAFTER.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BETHANY:

Section 1. The following-described real estate situated in the City of Bethany, to wit:

**UNPLTD PT NW4 SEC 29 12N 4W BEG 220FT S & 30FT W OF NE/C NW/4 TH W150FT S321.51FT NELY ALONG A CURVE 137.50FT E15FT N300FT TO BEG PLUS A TR BEG 180FT W & 220FT S OF NE/C NW4 TH W215FT SWLY233.78FT SELY ALONG A CURVE 210.71FT SELY ALONG A REVERSE CURVE 172.32FT NELY126.42FT NELY ALONG A CURVE 119.02FT N321.51FT TO BEG EX A TR BEG 220FT S & 30FT W NE/C NW/4 TH W365FT SELY382.35FT TH ON A RIGHT CURVE NELY226.15FT E15FT N300FT TO BEG.**

is hereby included in, added to, and made part of the district set aside for PUD, Planned Use Development District, and the Clerk of the City of Bethany is hereby authorized and directed to correct the official zoning map and comprehensive plan map of the City of Bethany, Oklahoma, to conform thereto.

Section 2. The Planned Unit Development Design Statement and Graphic Master Plan (“Master Plan”) is attached hereto as Exhibit 1 is approved. The approved use for the PUD zoning is R-2, Residential, in the structure shown on the Master Plan.

Section 3. Development of the subject property shall be as provided in Section 158.020 of the Bethany Code of Ordinances and in accordance with the Master Plan.

Section 4. The preliminary plat is attached hereto as Exhibit 2 is approved.

Section 5. All ordinances in conflict herewith are hereby repealed.

\*\*\*END\*\*\*

The undersigned hereby certify that the foregoing ordinance was approved by the Bethany Planning and Zoning Commission on Mar. 5, 2026, and introduced before the Bethany City Council on March 17, 2026, and was duly adopted and approved by the Mayor and City Council of the City of Bethany on the 17th day of March, 2026, after public hearing, and after compliance with notice requirements of the Open Meeting Law (25 OSA, Sections 301, et seq.).

---

MAYOR

ATTEST:

---

CITY CLERK

Approved as to form and legality on \_\_\_\_\_,  
2026.

---

CITY ATTORNEY

*Note: Attach Planned Unit Development Design Statement and Graphic Master Plan to this Ordinance and mark as Exhibit 1.*

**THE CITY OF BETHANY**  
**PLANNED UNIT DEVELOPMENT DISTRICT**

**PUD-\_\_\_\_\_**

**MASTER DESIGN STATEMENT FOR**

**Flamingo Square**

January 19, 2026

January 23, 2026

**PREPARED FOR:**

Jay London Homes  
550 NE 24<sup>th</sup> St.  
Newcastle, OK 73065  
(405) 494-0204  
jaylondonhomes@gmail.com

**PREPARED BY:**

BOX LAW GROUP, PLLC  
David Box  
Kaitlyn Turner  
525 NW 11<sup>th</sup> St., Ste. 205  
Oklahoma City, OK 73103  
405-652-0099 Phone  
[david@boxlawgroup.com](mailto:david@boxlawgroup.com)  
[kaitlyn@boxlawgroup.com](mailto:kaitlyn@boxlawgroup.com)

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**SECTION 1.0 ..... INTRODUCTION**

The Planned Unit Development (PUD) of Flamingo Square, consisting of approximately 2 acres, is located within the Northwest Quarter (NW/4) of Section 29, Township 12 N, Range 4 W, of the Indian Meridian, Oklahoma County, Oklahoma.

**SECTION 2.0 ..... LEGAL DESCRIPTION**

The legal description of the property comprising this PUD is described in Exhibit A, attached, and is made a part of this Master Design Statement.

**SECTION 3.0 ..... OWNER/DEVELOPER**

The owner of this property is John Thaphachanh. The developer of this property is Jay London Homes.

**SECTION 4.0 ..... SITE AND SURROUNDING AREA**

The subject property is presently zoned for E-1 Educational & Institutional. Surrounding properties are zoned and used for:

- North: E-1 and C-G District and used for commercial development.
- East: E-1 District and used for commercial development.
- South: R-1 District and used for residential development.
- West: E-1 District and used for commercial development.

The relationship between the proposed use of this parcel and the above adjoining land uses is compatible. The proposed use of this property is in harmony with the surrounding zoning.

**SECTION 5.0 .....PHYSICAL CHARACTERISTICS**

The property is currently undeveloped.

**SECTION 6.0 .....CONCEPT**

The concept for this PUD is to change the existing base zoning to a base zoning that will permit a townhome development.

**SECTION 7.0..... SERVICE AVAILABILITY**

**7.1 ..... STREETS**

The nearest street to the north is NW 23<sup>rd</sup> St. The nearest street to the east is N Glade Ave. The nearest street to the south is NW 21<sup>st</sup> St. The nearest street to the west is N Flamingo Ave.

**7.2 ..... SANITARY SEWER**

Public sanitary sewer facilities for this property are available. Sanitary sewer services will be provided from public mains.

7.3 ..... WATER

Water facilities for this property are available. Water services will be provided from public mains.

7.4 ..... FIRE PROTECTION

The nearest fire station to this property is the Bethany Fire Department located at 3919 N Rockwell Ave. It is approximately 1.8 miles from this PUD development.

7.5 .....GAS, ELECTRICAL, AND TELEPHONE SERVICE

Proper coordination with the various utility companies will be made in conjunction with this development.

7.6 ..... PUBLIC TRANSPORTATION

Public Transportation is currently unavailable adjacent to this site.

7.7 ..... DRAINAGE

The property within this Planned Unit Development is not within a FEMA flood plain.

**SECTION 8.0.....SPECIAL DEVELOPMENT REGULATIONS**

The following Special Development Regulations and/or limitations are placed upon the development of the PUD. Planning and zoning regulations will be those, which are in effect at the time of development of this PUD, provided, however, that the density and or intensity of the PUD shall not be increased. Development is when a permit is issued for any construction or addition to any structure on a development tract. Certain zoning districts are referred to as a part of the Special Development Regulations of this PUD. For purposes of interpretation of these Special Development Regulations, the operative and controlling language and regulations of such zoning districts shall be the language and regulations applicable to the referenced zoning districts as contained in the City of Bethany’s Planning and Zoning Code as such exists at the time of development of this PUD. In the event of conflict between provisions of this PUD and any of the provisions of the Bethany Municipal Code, as amended, in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, the provisions of the Code shall prevail and be controlling; provided however, that in the event of a conflict between the Special Use and Development Regulations specifically negotiated as a part of this PUD and the provisions of the Code in effect at the time a permit is applied for with respect to any lot, block, tract and/or parcel of land subject to this PUD, such Special Use and Development Regulations of this PUD shall prevail and be controlling.

8.1.....USE AND DEVELOPMENT REGULATIONS

The use and development regulations of the R-M Residential Multiple Family District shall govern this PUD, except as herein modified.

**All uses within the R-M District shall be permitted, except that it shall be limited to 11 duplexes and there shall be a maximum of 22 dwelling units within this PUD.**

**9.0.....SPECIAL CONDITIONS**

The following special conditions shall be made a part of this PUD:

**9.1.....FAÇADE REGULATIONS**

Exterior building wall finish on all structures shall consist of a minimum 70% LP Smart Cedar texture composited siding or other similar type finish. No more than 30% EIFS (Exterior Insulation Finish System) shall be permitted. Exposed concrete block buildings shall not be permitted.

**9.2 ..... LANDSCAPING REGULATIONS**

The subject parcel shall meet all requirements of the City of Bethany’s Landscaping Ordinance in place at the time of development.

**9.3 ..... LIGHTING REGULATIONS**

The site lighting in this PUD shall be in accordance with the Bethany Municipal Code.

**9.4 ..... SCREENING REGULATIONS**

No less than a six-foot and no greater than an eight-foot-high wall or fence shall be required along the boundary of this parcel where it is adjacent to any residential use. Said wall or fence shall be constructed entirely of stucco, brick, or stone on a continuous footing, or may be constructed of wood and shall be solid and opaque.

**9.5 ..... SUBDIVISION REGULATIONS**

Subdivision shall conform to the Bethany Subdivision Regulations, as amended.

**9.6 ..... DRAINAGE REGULATIONS**

Development of this parcel will comply with the Bethany Municipal Code.

**9.7 ..... DUMPSTER REGULATIONS**

Dumpsters, if any, shall be located within an area screened by a fence or masonry wall of sufficient height that screens the dumpster from public streets and residences and shall be placed no closer than 25 feet from all property lines adjacent to residential zoning district or use.

**9.8 ..... ACCESS REGULATIONS**

Access may be taken from the private drive as shown on Exhibit B and N Flamingo Ave.

9.9 ..... PARKING REGULATIONS

The design and number of all parking facilities in this PUD shall be in accordance with the Bethany Municipal Code.

9.10 ..... SIGNAGE REGULATIONS

Per Code.

9.11 ..... ROOFING REGULATIONS

Each structure in this PUD shall have architectural style shingles or better.

9.12 ..... SIDEWALK REGULATIONS

Five (5) foot sidewalks shall be constructed on the arterial street with each development parcel, or six (6) foot sidewalks shall be required if the sidewalk is constructed adjacent to the curb, subject to the policies and procedures of the Public Works Department. Four (4) foot sidewalks shall be constructed on the interior streets prior to any occupancy certificates being issued.

9.13 ..... HEIGHT REGULATIONS

The base zoning district regulations shall regulate heights of structures in this PUD.

9.14 ..... SETBACK REGULATIONS

Setback regulations shall be as follows as measured from the PUD boundary line to the nearest building line:

- North: 10 feet
- South: 10 feet
- East: 10 feet
- West: 20 feet

9.15 ..... PUBLIC IMPROVEMENTS

Public improvements shall be made by the property owner throughout the PUD as required by the City of Bethany Public Works Department or other City, County, or State Department or agency. All Local, State, and Federal ordinances as they shall apply to the site will be adhered to fully.

9.16 ..... COMMON AREAS

Maintenance of the common areas, private drainage easements, private drives, and islands / medians in the development shall be the responsibility of the property owner or Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that shall cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such

as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.

**10.0 ..... DEVELOPMENT SEQUENCE**

Developmental phasing shall be allowed as a part of the development of this PUD.

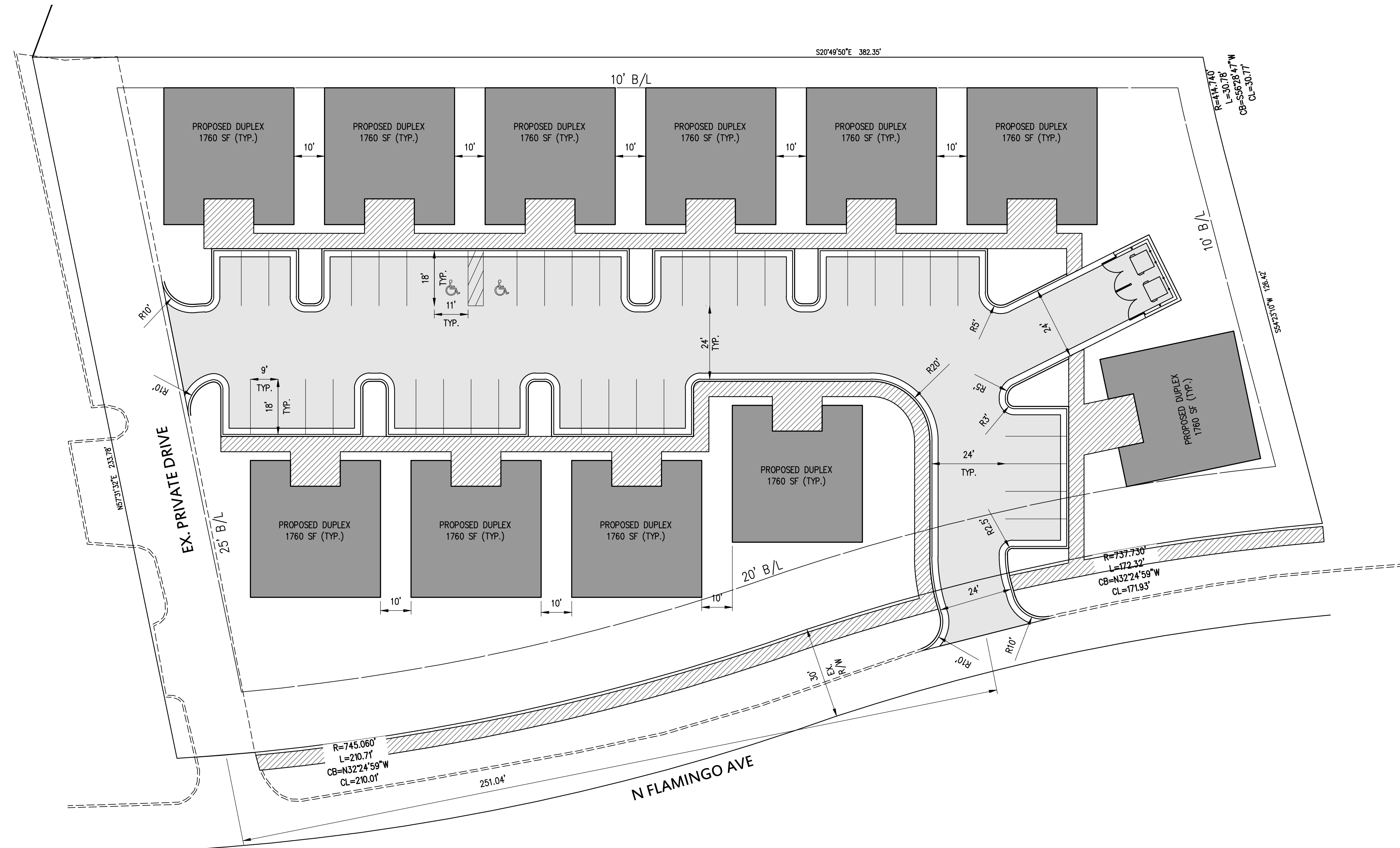
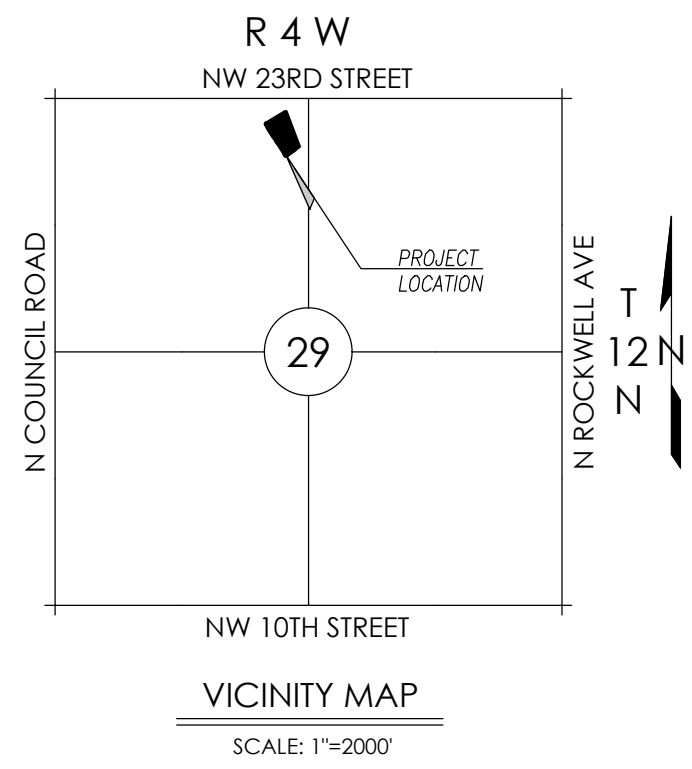
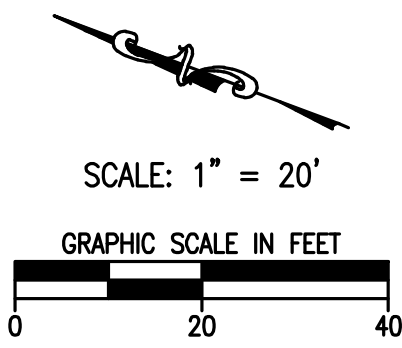
**11.0 ..... EXHIBITS**

The following exhibits are hereby attached and incorporated into this PUD. These exhibits are:

Exhibit A - Legal Description

Exhibit B - Conceptual Master Development Plan

MASTER DEVELOPMENT PLAN  
OF  
**FLAMINGO SQUARE**  
A PART OF SECTION 29, T12N, R4W  
BETHANY, OKLAHOMA COUNTY, OKLAHOMA



**OWNER/DEVELOPER**  
JAY LONDON HOMES, LLC  
PO Box 1237  
Newcastle, OK 73065  
(405) 443-9606

**LEGAL DESCRIPTION**  
A tract of land located in the NE/4 of the NW/4 of Section 29, Township 12 North, Range 4 West of the Indian Base and Meridian, Oklahoma County, State of Oklahoma, being more particularly described as follows:  
Commencing at the Northeast Corner of said NE/4 of the NW/4;  
Thence S00°10'35"E along the East line thereof, a distance of 220.00 feet;  
Thence S89°29'14"W parallel to the North line of said NE/4 of the NW/4, a distance of 395.00 feet to the Point of Beginning;  
Thence S57°31'32"W, a distance of 233.78 feet;  
Thence Southeasterly on a curve to the left having a radius of 745.06 feet, an arc length of 210.71 feet and a chord bearing S32°24'59"E, a distance of 210.01 feet;  
Thence Southeasterly on a curve to the right having a radius of 737.73 feet, an arc length of 172.32 feet and a chord bearing S32°24'59"E, a distance of 171.93 feet;  
Thence N54°23'10"E, a distance of 126.42 feet;  
Thence Northeasterly along a curve to the right having a radius of 414.74 feet, an arc length of 30.78 feet and a chord bearing N56°28'47"E, a distance of 30.77 feet;  
Thence N20°49'50"W, a distance of 382.35 feet to the Point of Beginning.

<b>MASTER DEVELOPMENT PLAN FLAMINGO SQUARE</b>	
<small>300 Points Parkway Blvd. Tulsa, Oklahoma 73099</small>	
 <b>Crafton Tull</b> <small>architecture   engineering   surveying 405.787.6270   405.787.6271 www.craftontull.com</small>	SHEET NO.: 1 OF 1 DATE: 1/14/2026 PROJECT NO.: 26600200
<small>CERTIFICATE OF AUTHORIZATION CA 979 (PLS) EXPIRES 6/30/2026</small>	

**BETHANY CITY COUNCIL**

**From:** Brett Crecelius  
**Date:** March 9, 2026  
**Subject:** Consider a request by Loyd Spaugy, Agent for Owner Pelham Partners, LLC and Michael Love, Property Owner to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36<sup>th</sup> Street and East Divis Ave.

BACKGROUND

Attached are the minutes and the staff report from the March 5, 2026 Planning and Zoning Commission meeting. Motion was made by Ron Crouch, seconded by James Clemmer to recommend approving the final plat request to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36<sup>th</sup> Street and East Divis Ave. The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Ron Crouch, Arvel Williams. NAY- Robert Helton. ABSTAIN- None. The motion carried 5-1-0.

RECOMMENDATION

1. As develops during meeting.

ADDITIONAL COMMENTS



Ray Jones, City Attorney stated the City of Bethany's ordinances comply with State Statues.

Motion was made by James Clemmer, seconded by Sam Thurman to recommend approving the rezoning of 2200 N. Flamingo Ave. from E-I (Educational Institutional) to PUD (Planned Unit Development). The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Ron Crouch, Arvel Williams. NAY- Robert Helton. ABSTAIN - None. The motion carried 5-1-0.

Commissioner Crouch stated he would like to see a comparison of residential setbacks from some of the surrounding cities.

Brett Crecelius, Comm. Dev. Director stated he will make a note to get this information. As we bring ordinances forward, the density and lot standards is on the list to review.

**ITEM 3: PC 26-09**

*3-5-2026  
PZ  
minutes* Consider a final plat request from Loyd Spaugy, Agent for Owner Pelham Partners, LLC and Michael Love, Property Owner to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36th Street and East Divis Ave.

**LEGAL DESCRIPTION:** Lots Two (2), Three (3) and Four (4), in FOREST HIGHLANDS, an addition in Oklahoma County, Oklahoma according to the recorded plat thereof.  
**(ITEM TO BE HEARD BY CITY COUNCIL ON MARCH 17, 2026.)**

**ACTION:** Raquelynne Diaz, Comm. Dev. Associate presented the staff report to consider the final plat to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36<sup>th</sup> Street and East Divis Ave. A rezoning and preliminary plat were recently approved by the City Council. All necessary documents have been submitted to the City for review and feedback. Our engineer, Teim Engineering and Bethany Fire Department has signed off on documents.

Mr. Spaugy, Representing applicant spoke to the Planning and Zoning Commission. The final plat is a little different on the two lots that abut N. Rockwell. We have transitioned that to a detention area for development. We have curbed the street a little bit to allow more area for the detention modifications.

Commissioner Helton stated the PUD's are tied to the intent of the comprehensive plan and ordinances. He submitted copies of State Statues 11-43-110 and 11-43-111 for the minutes.

Ray Jones, City Attorney stated our ordinances comply with State Statues.

Motion was made by Ron Crouch, seconded by James Clemmer to recommend approving the final plat request to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36<sup>th</sup> Street and East Divis Ave. The votes are as follows: AYE- Justin Peck, James Clemmer, Sam Thurman, Ron Crouch, Arvel Williams. NAY- Robert Helton. ABSTAIN- None. The motion carried 5-1-0.

-----  
**NEW BUISNESS**

Brett Crecelius, Comm. Dev. Director informed the Planning Commission we have a new website and the Planning and Zoning Commission packets and minutes are available on our new website.

Commissioner Helton spoke about the industrial area. Are we going to have any action on that?

Brett Crecelius, Comm. Dev. Director explained after recommendation from the City Attorney, we do need to go out for a public hearing, so new notices will be mailed and notice will be published. Item will be on April 2, 2026 agenda.

\*\*\*\*\*

Motion was made by Robert Helton, seconded by James Clemmer to adjourn. The motion passed unanimously  
6-0.

PC 26-06  
and  
S 747c  
PC 26-09

are a single-family or a duplex carport, patio cover, storage building, accessory building, pool, or fence.

B. This provision shall not apply to a person or persons performing the construction or remodeling to his, her, or their own single-family or duplex structure on their own property regardless if the construction or remodeling is to a single family or duplex structure that is also for rental purposes, unless the modifications are being performed by and the permit is acquired by a general contractor or subcontractor, in which case the general contractor or subcontractor shall meet the requirements set forth in subsection A of this section.

C. If the entity should require a contractor to register in order to monitor insurance verifications, the registration fee shall not exceed the fee assessed by the entity for other construction trade contractors licensed by the Construction Industries Board.

D. The entity shall not be liable if the documentation provided is false or if the general liability insurance or workers' compensation insurance lapses after the building permit is issued. Added by Laws 2009, c. 206, § 1, eff. Nov. 1, 2009. Amended by Laws 2010, c. 54, § 1, emerg. eff. April 9, 2010.

§11-43-110. Planned unit developments - Zoning ordinances - Required regulations - Notice and hearing - Consideration of requests - Incorporation of other land development ordinances and statutes.

A. As used in this section, "planned unit development" includes cluster housing, planned residential and nonresidential development, community unit plan, and other zoning requirements which are designed to accomplish the objectives of a comprehensive plan and zoning ordinance through a land development project review process based on the application of site planning criteria to achieve integration of the proposed land development project with the characteristics of the project area.

B. A municipal governing body may establish planned unit development requirements and procedures in a zoning ordinance which permit flexibility in the regulation of land development; encourage innovation in land use and variety in design, layout and type of structures constructed; achieve efficiency in the use of land, natural resources, energy and the providing of public services and utilities; encourage useful open space; and provide better housing, employment and shopping opportunities particularly suited to the needs of the residents of the state. The review and approval of a planned unit development shall be made by either the planning commission or the governing body.

C. Within a designated planned unit development, conditions relating to the use of land, including but not limited to, permitted uses, lot sizes, setbacks, height limits, required facilities, buffers, open space areas, lighting, signage, landscaping, parking

and loading, compatibility, and land use density shall be determined in accordance with the planned unit development regulations specified in the zoning ordinance. The planned unit development conditions need not be uniform with regard to each type of land use if equitable procedures recognizing due process principles and avoiding arbitrary decisions have been followed in making regulatory decisions.

D. The planned unit development regulations established by a municipality shall specify the following:

1. The body which shall review and approve planned unit development requests and amend the same;
2. The conditions which create planned unit development eligibility, the persons and agencies involved in the review process, if any, and the requirements and standards upon which applications will be reviewed and approval granted; and
3. The procedures required for application, review and approval.

E. Following receipt of a request for a planned unit development, at least one public hearing shall be held. An ordinance may provide for one or more preapplication conferences before submission of a planned unit development request, and the submission of preliminary site plans before the public hearing. Notification of the public hearing shall be given by mail in the same manner as required by Section 43-106 of this title for public hearings on proposed zoning changes. In addition, a municipality may require notice by posting and/or publication. Within a reasonable time following the public hearing, the body responsible for approving planned unit developments shall deny the request, approve the request, or approve the request with conditions.

1. Should the ordinance require that the municipal governing body amend the ordinance to act on the planned unit development request, the planning commission shall conduct the public hearing and make recommendations on the planned unit development request which shall be transmitted to the municipal governing body for consideration in making a final decision. If an amendment of a zoning ordinance is required by the planned unit development regulations of a municipal zoning ordinance, the requirements of this act for amendment of a zoning ordinance shall be followed.

2. If the planned unit development regulations of a municipal zoning ordinance do not require amendment of the ordinance to authorize a planned unit development, the body charged in the zoning ordinance with review and approval of planned unit developments may approve, approve with conditions, or deny a request.

F. Final approvals may be granted on each phase of multiphased planned unit developments if each phase contains the necessary consideration of the natural environment and the health, safety, and welfare of the users of the planned unit development and the landowners immediately adjacent thereto.

G. In establishing planned unit development regulations, a municipal governing body may incorporate by reference other available and applicable ordinances or statutes which regulate land development. The planned unit development regulations contained in zoning ordinances shall encourage complementary relationships between zoning regulations and other requirements affecting the development of land.

Added by Laws 1990, c. 215, § 1, emerg. eff. May 18, 1990.

§11-43-111. Conditions of approval - Standards of evaluation - Record of conditions.

A. If a municipal zoning ordinance authorizes the consideration and approval of planned unit developments pursuant to Section 2 of this act, or otherwise provides for discretionary decisions, the regulations and standards upon which those decisions are made shall be specified in the ordinance. The standards shall be consistent with, and promote the intent and purpose of the comprehensive plan and/or any ordinances, and promote the land use or activity so as to be compatible with adjacent uses of land, the natural environment, and the planned capacities of public services and facilities affected by the land use. The standards shall also ensure that the land use or activity is consistent with the public health, safety, and welfare of the municipality.

B. Reasonable conditions may be required in conjunction with the approval of a planned unit development. Conditions imposed shall meet the following requirements:

1. Be designed to take into consideration natural environment, the health, safety and welfare of the residents, and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.

2. Be related to the valid exercise of the police power, and to the proposed use or activity.

3. Be necessary to meet the intent and purpose of the zoning requirements; be related to the standards established in the ordinance for the land use or activity under consideration; and be necessary to ensure compliance with those standards.

C. The conditions imposed with respect to the approval of a land use or activity shall be stated in the record of the approval actions, and shall not be changed or amended except as authorized by the zoning ordinance with notice as specified thereby. The approving body shall maintain a record of conditions which are changed.

Added by Laws 1990, c. 215, § 2, emerg. eff. May 18, 1990.

§11-43-112. Site plans - Submission, review and approval - Changes - Validity of prior approved developments.

A. As used in the section, "site plan" means the documents and plans specified in the zoning ordinance needed to ensure that a

**City of Bethany**  
**Planning & Zoning Staff Report**

**March 5th, 2026**

CASE NO: PC 26-09

**Request:** Consider a final plat request from Loyd Spaugy, Agent for Owner Pelham Partners, LLC and Michael Love, Property Owner, to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36th Street and East Divis Ave.

**Legal Description:** Lots Two (2), Three (3) and Four (4), in FOREST HIGHLANDS, an addition in Oklahoma County, Oklahoma according to the recorded plat thereof.

**Current Zoning:** Planned Unit Development (PUD)

**Surrounding Zoning:**

Direction	Zoning
North	R-1(Single- Family Residential) & R-M (Residential Multiple Family)
South	R-2 (Residential Two-family) & C-G (Commercial General
East	R-1(Single- Family Residential) & R-M (Residential Multiple Family)
West	E-I (Educational- Institutional) & PUD (Planned Unit Development)

Table 1

<i>Characteristics</i>	
<i>Total Area</i>	7.58 acres
<i>Number of lots</i>	25
<i>Water</i>	2" water line East side of N. Divis and a 8" water line west side of N. Rockwell Ave. A prop 6" water line NW 39 <sup>th</sup> St.
<i>Sewer</i>	8" sanitary sewer line southside of NW 39 <sup>th</sup> St. and an 8" sanitary sewer line west of N. Rockwell Ave. 8" sewer line West side of N. Divis Ave.

**Background:**

The applicant is requesting approval of their final plat request from the property located NW of the intersection at N. Rockwell Ave & NW 36<sup>th</sup> Street, and East of Divis Ave. to subdivide the property into 25 Duplexes. The surrounding area consists of mixed zoning classifications, including to the west of the site is an established PUD known as Bethany Village Duplexes, which includes 27 duplex units, as well as R-M, R-2, and C-G districts.

**Analysis:**

All necessary documents and plans have been submitted for review, and feedback has been provided by city staff and engineers. Letter of comments from TEIM is included in the packet.

The design and number of all parking facilities in this PUD shall be in accordance with Title XV: Land Usage, Chapter 158, Zoning of the City of Bethany, Code of Ordinances, Chapter 158.035, Off-Street Parking and Chapter 158.036 Residential Parking Restrictions. Two spaces per dwelling unit within the structure shall be provided. No off-site parking will be permitted along N. Donna Ave., the developer will install five "No Parking" signs along this roadway, with three signs located on the east side of N. Donna Avenue and two on the west side. Detention will be required to manage stormwater runoff, and the developer will construct a detention basin with an outlet structure designed to accommodate up to a 100-year storm event. In addition, per the city engineers' requirements, they will be extending the water line to the north side of the street on NW 39<sup>th</sup> street. As well the roadway will be concrete, and a sidewalk will be installed on each lot.

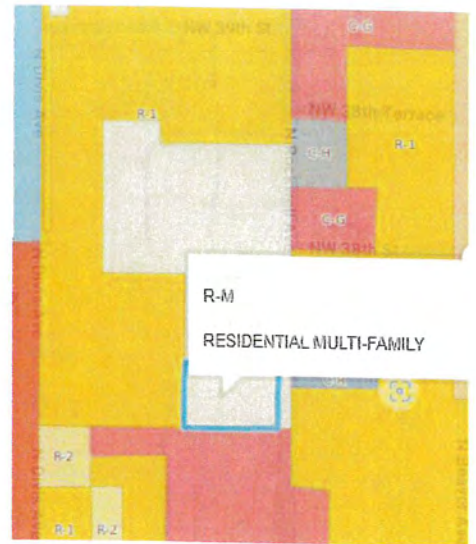
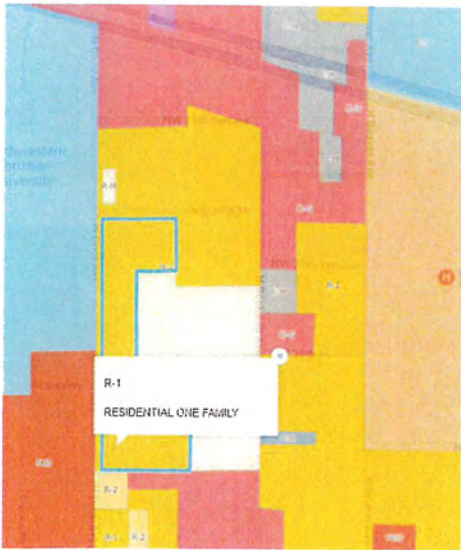
As mentioned, the necessary documents have been provided which include construction schedule, transmittal letter for offsite improvements, paving & drainage plans, sanitary & water plans, hydraulic analysis report, and their drainage report. All engineering comments were provided to the applicant and have since been fully addressed. All documents are included in the packet except for the drainage report and hydraulic report due to their file size. Both reports have been reviewed and approved by the city engineers. If any commissioner would like to review either report, staff will make them available upon request.

Additionally, the Fire Department has reviewed the proposed design and has approved it as compliant with applicable fire safety codes.

**Required Action:** Hold a public hearing to provide a recommendation to either approve or deny the applicant's request for their final plat.

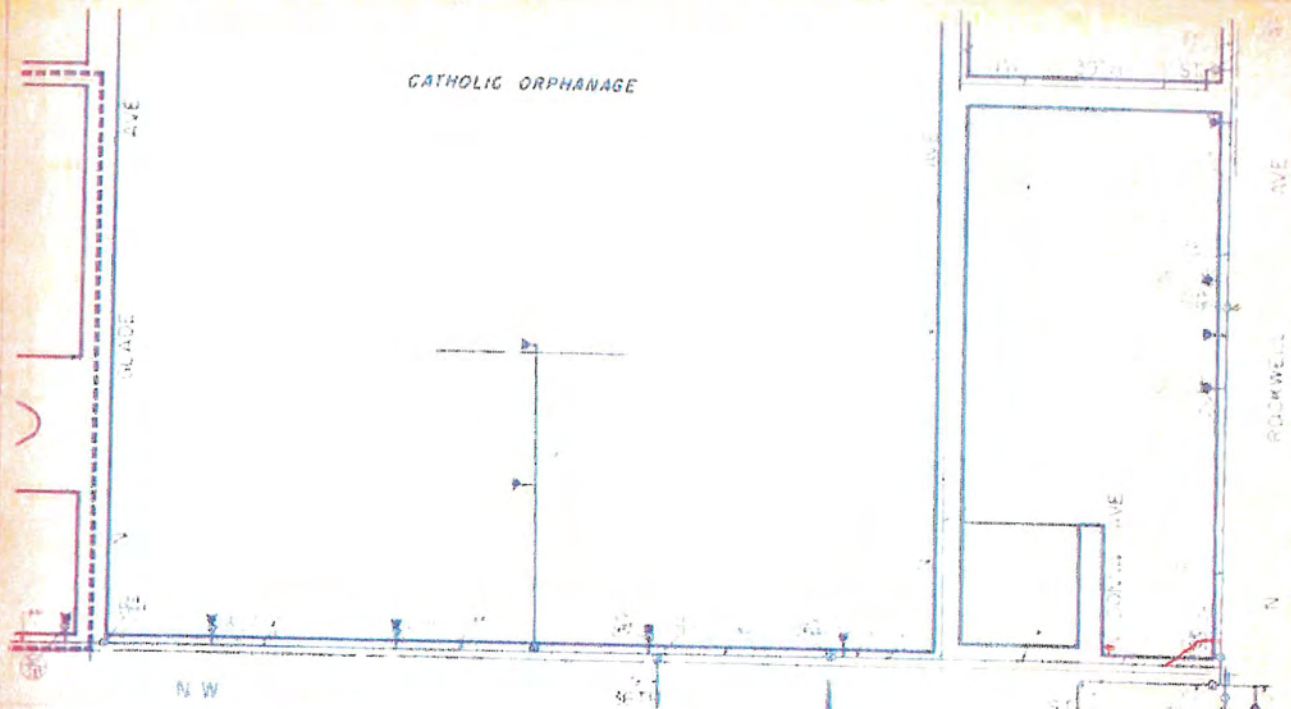
**Attachments:**

- Zoning Map
- Aerial Photographs
- Water and Sewer Atlases
- Application Documents
- TEIMS Letter
- Certified Owners List
- Public Notification



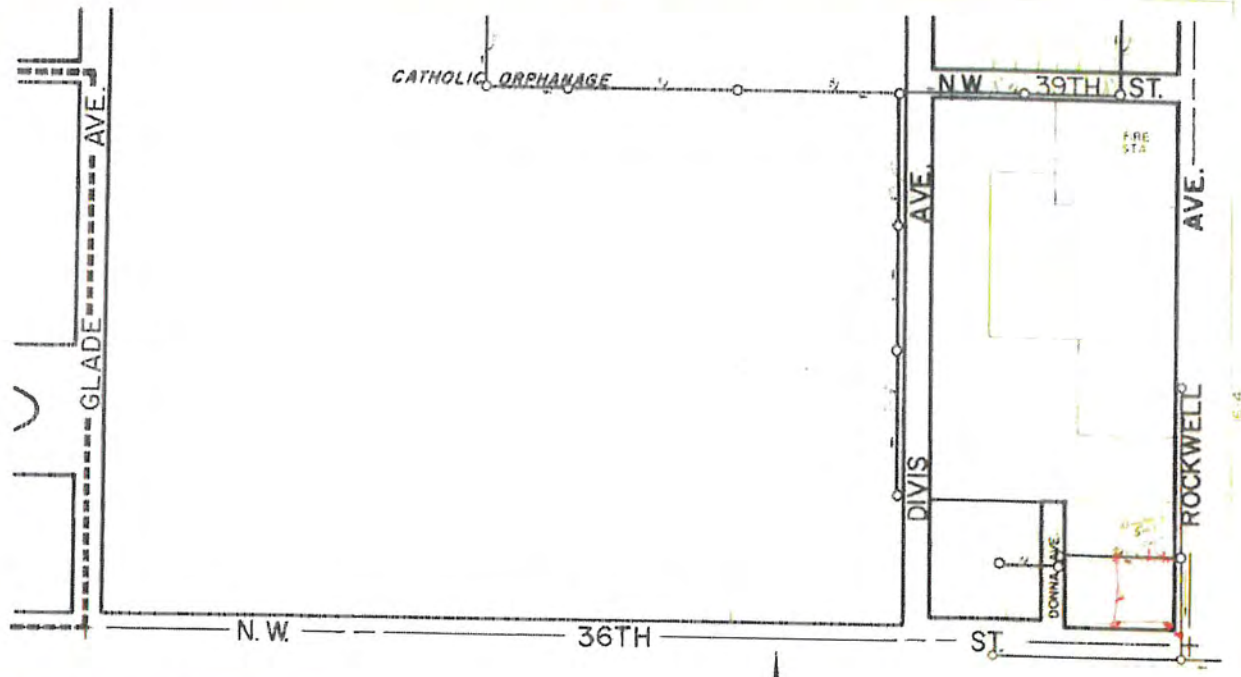


CATHOLIC ORPHANAGE



THIS MAP WAS PREPARED FOR THE OKLAHOMA INDUSTRIAL DEVELOPMENT AND PARK DEPARTMENT, STATE PLANNING AGENCY, AND WAS FINANCED IN PART THROUGH AN URBAN PLANNING GRANT FROM THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, UNDER THE PROVISIONS OF SECTION 701 OF THE HOUSING ACT OF 1954 AS AMENDED.

17-6



17-4

17-5

THIS MAP WAS PREPARED FOR THE OKLAHOMA INDUSTRIAL DEVELOPMENT AND PARK DEPARTMENT, STATE PLANNING AGENCY, AND WAS FINANCED IN PART THROUGH AN URBAN PLANNING GRANT FROM THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, UNDER THE PROVISIONS OF SECTION 701 OF THE HOUSING ACT OF 1954, AS AMENDED.



20-8

SCALE 1"=200'

17-5

# PACKET C

## SUBDIVISION PROCEDURE

### STEP ONE

Pre-application meeting with Community Development staff. Obtain a copy of Subdivision Ordinance (Section 154.01 - 154.79). Commence the preparation of a preliminary plat.

### STEP TWO

A. Submission of a preliminary plat application including:

1. Application form filled out.
2. Payment of an application fee and Notice of Hearing fee.

less than 10 acres	\$1,000.00
10-40 acres	\$1,250.00
more than 40 acres	\$1,563.00
Notice of Hearing Fee	\$ 150.00

3. A list of the names and addresses of all property owners of record within a 300 foot radius of the exterior boundaries of the property. This must be a current list and must be prepared and certified by a bonded abstractor or the County Assessor of Oklahoma County.
  4. Attach ten (10) copies of the preliminary plat.
- B. A Planning Commission hearing date will be set by the Community Department Staff at least fourteen (14) days prior to the next Planning and Zoning Commission meeting.
- C. The Planning and Zoning Commission will review the preliminary plat and will recommend approval, approval contingent on modifications, or denial. These recommendations will be forwarded to the City Council.
- D. The City Council will make the final determination on whether the plat should be approved, modified, or denied.

### STEP THREE

- A. Submission of a final plat application includes:
  - a. Payment of an application fee of **\$625.00**.
  - b. Attach five (5) copies of the final plat.
  - c. Attach seven (7) sets of construction plans for public improvements.
  - d. Attach a transmittal letter indicating any proposed off-site improvements.
  - e. Attach an engineer's itemized estimate of the cost of each public improvement.
  - f. Attach a construction program detailing the timing of the installation of each public improvement.
  
- B. A Planning Commission hearing date will be set by the Community Department Staff at least fourteen (14) days prior to the next Planning and Zoning Commission meeting.
  
- C. The Planning and Zoning Commission will review the final plat and will recommend approval, approval contingent on modifications, or denial. These recommendations will be forwarded to the City Council.
  
- D. The City Council will make the final determination on whether the plat should be approved, modified, or denied.

## SUBDIVISION APPLICATION

Final Plat

Name of proposed subdivision: Bethany Fields

Location: NW of the intersection at N. Rockwell Ave & NW 36th Street, and East of Divis Avenue.

Legal Description (type here or attach to application): See attached Legal.

Total area of property: 7.58± Acres

Number of lot(s) created: 25 Lots

Current Zoning: PUD, Planned Unit Development

Current Comprehensive Plan designation: Hospitals, Universities, Schools, and Churches

Name/ Address/Phone/Fax of Engineer: Loyd Spaugy, E.I. Crafton Tull & Associates

300 Pointe Parkway Blvd. Yukon, Oklahoma 73099 (405) 787-6270 Email: loyd.spaugy@craftontull.com

Name/ Address/Phone/Fax of Surveyor: Lee Allen Schroeder, PLS 1502 Crafton Tull & Associates

300 Pointe Parkway Blvd. Yukon, Oklahoma 73099 (405) 787-6270 Email: lee.schroeder@craftontull.com

Applicant(s) Name (print name): Loyd Spaugy, Agent for Owner Pelham Partners, LLC.

Address: 300 Pointe Parkway Blvd. Yukon, Oklahoma 73099

Phone # (daytime): (405) 787-6270 Email: Loyd.spaugy@craftontull.com  
Fax #: \_\_\_\_\_

Applicant(s) Signature: Michael Love

Property Owner(s) Name (print name): Michael Love, Manager Pelham Partners, LLC.

Property Owner(s) Signature: Michael Love

Address: 16200 Sonoma Park Drive Edmond, OK 73013

Phone # (daytime): michael@ccdcproperties.com Fax #: \_\_\_\_\_



**WARRANTY DEED  
(Oklahoma Statutory Form)**

KNOW ALL MEN BY THESE PRESENTS:

THAT **Bethany First Church of the Nazarene** party of the first part, in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable considerations to it in hand paid, the receipt of which is hereby acknowledged does hereby grant, bargain, sell and convey unto

**Pelham Partners LLC**

party of the second part, the following described real property and premises situate in Oklahoma County, State of Oklahoma, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Subject to easements, rights of way and restrictive covenants of record. Less and except all oil, gas and other minerals previously reserved or conveyed of record.

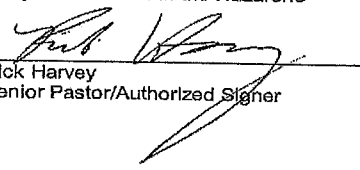
Together with all the improvements thereon and the appurtenances thereunto belonging, and warrant the title to the same.

TO HAVE AND TO HOLD said described premises unto the said parties of the second part, its successors, heirs and assigns, forever, free, clear and discharged of and from all former grants, charges, taxes, judgments, mortgages and other liens and encumbrances of whatsoever nature.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Signed and delivered September 11, 2025.

Bethany First Church of the Nazarene

BY:   
Rick Harvey  
Senior Pastor/Authorized Signer

**WARRANTY DEED**  
**(Oklahoma Statutory Form)**  
(continued)

The State of OKLAHOMA

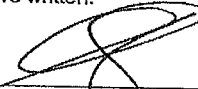
**ACKNOWLEDGMENT**

County of OKLAHOMA

Before me, the undersigned, a Notary Public, in and for said County and State, on this 10 day of October, 2025, personally appeared Rick Harvey, to me known to be the identical person(s) who signed the name of the maker thereof to the within foregoing instrument as its Authorized Signer, and acknowledged to me that he/she executed the same as his/her free and voluntary act and deed, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.



  
Notary Public in and for the State of \_\_\_\_\_  
Notary's Printed Name: \_\_\_\_\_  
Notary's Commission Expires: \_\_\_\_\_

**Mail Deed and Tax Statements To:**  
Pelham Partners LLC  
3800 N Divis Ave  
Bethany, OK 73008

**Presented for filing by and return to:**  
Chicago Title Oklahoma Co.  
1601 NW Expressway, Suite 1000  
Oklahoma City, OK 73118  
File No.: 710102501367  
Title Insurance Commitment, if any, issued by:  
Chicago Title Insurance Company

**EXHIBIT "A"**  
Legal Description

**For Tax Map ID(s):** 172620800

Lots Two (2), Three (3) and Four (4), in FOREST HIGHLANDS, an addition in Oklahoma County, Oklahoma according to the recorded plat thereof;

Less and Except:

A tract of land being a part of Lots Two (2), Three (3), and Four (4), in FOREST HIGHLANDS, an addition to Oklahoma County, Oklahoma, according to the plat recorded in Book 16 of Plats, Page 91, and being more particularly described as follows:

COMMENCING at the northeast corner of said Lot 4; THENCE South 00°18'32" East, along the east line of said Lot 4, a distance of 250.00 feet; THENCE South 89°25'17" West, parallel with the north line of said Lot 4, a distance of 17.00 feet to the POINT OF BEGINNING;

THENCE South 00°18'32" East, parallel with the east line of said Lots 4, 3, and 2, a distance of 545.00 feet; THENCE South 89°25'17" West, parallel with the north line of said Lot 4, a distance of 115.28 feet; THENCE North 59°50'27" West a distance of 55.40 feet; THENCE North 12°26'53" West a distance of 93.46 feet; THENCE North 08°27'35" West a distance of 46.85 feet; THENCE North 03°10'34" West a distance of 54.41 feet; THENCE North 79°29'20" West a distance of 116.16 feet; THENCE South 89°25'17" West a distance of 57.51 feet; THENCE North 00°18'32" West, parallel with the east line of said Lots 2, 3, and 4, a distance of 302.11 feet; THENCE North 89°25'17" East a distance of 363.66 feet to the POINT OF BEGINNING.

Less and Except:

A part of Lot Four (4) in FOREST HIGHLANDS ADDITION, an addition in Oklahoma County, Oklahoma, according to the recorded plat thereof, more particularly described as follows: Beginning at the Northeast corner of said Lot 4; thence south along the East line of said Lot 4 a distance of 250 feet; thence west and parallel with the North line of said Lot 4 a distance of 300.07 feet; thence north and parallel with the East line of said Lot 4 a distance of 250 feet; thence east along the North line of said Lot 4, a distance of 300.07 feet to the point or place of beginning.

**CERTIFICATE OF AUTHORITY  
ON BEHALF OF  
BETHANY FIRST CHURCH OF THE NAZARENE**

This **Certificate of Authority** is executed on this 10th day of September, 2025, by the undersigned, who are duly acting officers of **Bethany First Church of the Nazarene**, an Oklahoma not for profit corporation (the "Church").

**RECITALS**

WHEREAS, the Church is the owner of certain real property located in Oklahoma County, Oklahoma, more particularly described in the Exhibit attached (the "Property");

WHEREAS, the Church desires to sell and convey the Property, and the transaction requires the execution and delivery of deeds, closing statements, settlement statements, affidavits, and such other documents customarily executed in connection with the sale of real property;

WHEREAS, pursuant to Paragraph 102.3 of the Manual of the Church of the Nazarene (the "Manual"), it is provided that:

*"The pastor and the secretary of the church board shall be the president and secretary of the church, incorporated or not incorporated, and shall execute and sign all conveyances of real estate, mortgages, releases of mortgages, contracts, and other legal documents of the church not otherwise provided for in the Manual."*

WHEREAS, Rick Harvey is the duly appointed and acting Senior Pastor of the Church and, pursuant to Paragraph 102.3 of the Manual, serves as the President of the Church; and

WHEREAS, the undersigned hereby certify and confirm that, under the Manual and applicable Church governance, Rick Harvey is duly authorized and empowered to execute and deliver any and all documents necessary to consummate the sale of the Property on behalf of the Church.

**CERTIFICATION**

NOW, THEREFORE, the undersigned hereby certify that:

1. **Authority of Pastor/President.**

Pursuant to Paragraph 102.3 of the Manual of the Church of the Nazarene, Rick Harvey, as Senior Pastor and President of the Church, has full power and authority to execute and deliver, on behalf of the Church, all documents necessary or incidental to the sale, transfer, and conveyance of the Property.

2. Binding Effect.

Any and all documents executed by Rick Harvey in connection with the closing of the sale of the Property shall be binding upon the Church to the same extent as if executed by the full Church Board.

3. Reliance by Third Parties.

All third parties, including the buyer, the title company, and any lenders or escrow agents, are entitled to rely upon this Certificate as conclusive evidence of Rick Harvey's authority to act on behalf of the Church in connection with the sale of the Property.

EXECUTED this 10th day of September, 2025.

BETHANY FIRST CHURCH OF THE NAZARENE

By: *Rick Harvey*  
Rick Harvey, Senior Pastor / President

By: *Rickey D. Rains*  
Secretary of the Church Board

NOTARY ACKNOWLEDGMENT

STATE OF OKLAHOMA )  
COUNTY OF OKLAHOMA )

On this 10th day of September, before me, the undersigned Notary Public in and for said State, personally appeared Rick Harvey, known to me to be the Senior Pastor and President of Bethany First Church of the Nazarene, and Rickey D. Rains, known to me to be the Secretary of the Church Board, and they acknowledged that they executed the foregoing instrument on behalf of the Church and by its authority.

Notary Public *Rebecca Mathis*

My Commission No.: 17002226

My Commission Expires: 03/06/2029



OAG 2024-2 - NON-EXEMPT BUSINESS/TRUST

Exhibit to Deed

**AFFIDAVIT OF LAND OR MINERAL OWNERSHIP: NON-EXEMPT BUSINESS OR TRUST**

STATE OF OKLAHOMA )  
COUNTY OF OKLAHOMA ) ss.

TO: THE ATTORNEY GENERAL OF THE STATE OF OKLAHOMA

Before me, the undersigned J. Michael Love (1st legal name and any aliases) (the "Affiant"), who, having been first duly sworn, deposes and states:

1. I am eighteen (18) years of age or older and have personal knowledge of the statements made herein.
2. I am a/an Manager (role, such as titled officer or trustee) of Pelham Partners LLC (legal name, along with any trade or fictitious names, of business, trust, or other legal entity) (referred to herein as the "Entity"). I am duly authorized to record this Affidavit on behalf of the Entity, which is taking title to the real property identified in the Deed to which this Affidavit is attached (the "Property"), and to bind the Entity for the consequences of any false statements in this Affidavit.
3. This Affidavit is executed in accordance with and pursuant to 60 O.S. § 121, which provides in part as follows:

No alien or any person who is not a citizen of the United States shall acquire title to or own land in this state either directly or indirectly through a business entity or trust, except as hereinafter provided, but he or she shall have and enjoy in this state such rights as to personal property as are, or shall be accorded a citizen of the United States under the laws of the nation to which such alien belongs, or by the treaties of such nation with the United States, except as the same may be affected by the provisions of Section 121 et seq. of this title or the Constitution of this state. Provided, however, the requirements of this subsection shall not apply to a business entity that is engaged in regulated interstate commerce in accordance with federal law.

4. The Entity acquired title to the Property in compliance with the requirements of 60 O.S. § 121 and no funding source was used in the sale or transfer of the Property in violation of section 121 or any other state or federal law.
5. If the Entity is a trust, its grantor(s), trustees and all direct and contingent beneficiaries are United States citizens or bona fide residents of the State of Oklahoma. If the Entity is a business, its direct and indirect owner(s) is/are United States citizens(s) or bona fide residents of the State of Oklahoma.
6. I acknowledge and understand that making or causing to be made a false statement in this affidavit may subject me to criminal prosecution for perjury and/or subject me and/or the Entity to being liable for actual damages suffered or incurred by any person or other entity as a result or consequence of the making of or reliance upon such false statement.

FURTHER AFFIANT SAYETH NOT.

J. Michael Love  
AFFIANT, individually and as authorized agent of the Entity

9/11/25  
Date

The foregoing instrument was subscribed and sworn to before me this 11 day of September, 2025  
by J. Michael Love, Manager

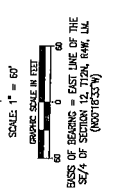
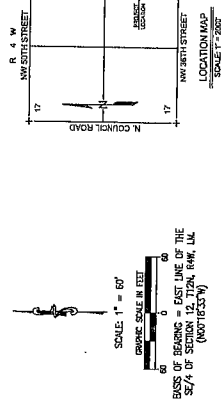
My Commission Expires: 5/3/26  
My Commission No.: 18004517

[Signature]  
NOTARY PUBLIC

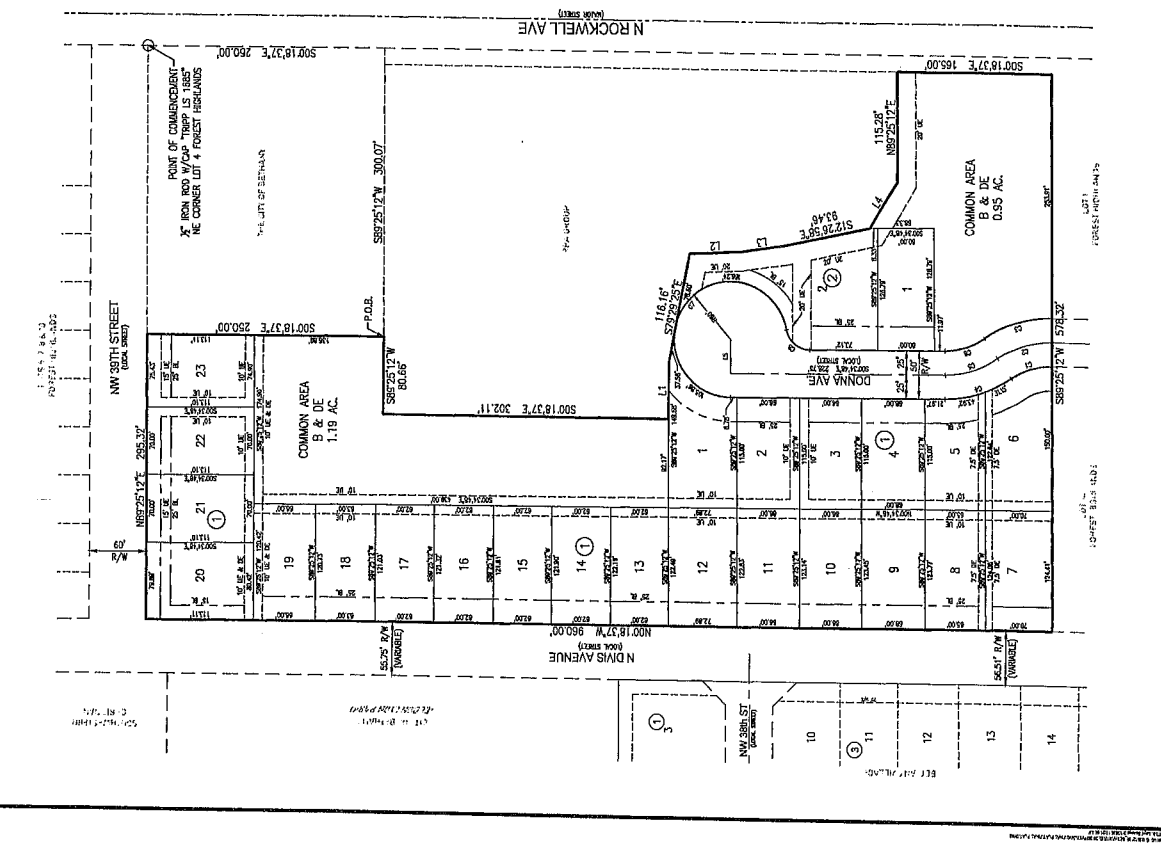




FINAL FLAT  
OF  
**BETHANY FIELDS**  
A PART OF THE SE/4 OF SECTION 17, T12N, R4W, L.M.  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



BASE OF SECTION 4 CUT LINE AT THE SE/4 OF SECTION 12, T12N, R4W, L.M. (N0716337)



- LEGEND:**
- P.O.B. POINT OF BEGINNING
  - EX. EXISTING
  - R/W RIGHT-OF-WAY
  - BL. BUILDING FOOTING
  - DE. DEDICATION
  - UE. UTILITY EASEMENT
  - P.C. PRIVATE DRIVE EASEMENT
  - (NF) MEMORIAL LINE

**LINE TABLE**

LINE #	LENGTH	DIRECTION
1	137.16'	S82°25'12\"
2	116.16'	S32°25'12\"
3	116.16'	S32°25'12\"
4	116.16'	S32°25'12\"
5	116.16'	S32°25'12\"
6	116.16'	S32°25'12\"
7	116.16'	S32°25'12\"
8	116.16'	S32°25'12\"
9	116.16'	S32°25'12\"
10	116.16'	S32°25'12\"
11	116.16'	S32°25'12\"
12	116.16'	S32°25'12\"
13	116.16'	S32°25'12\"
14	116.16'	S32°25'12\"
15	116.16'	S32°25'12\"
16	116.16'	S32°25'12\"
17	116.16'	S32°25'12\"
18	116.16'	S32°25'12\"
19	116.16'	S32°25'12\"
20	116.16'	S32°25'12\"
21	116.16'	S32°25'12\"
22	116.16'	S32°25'12\"
23	116.16'	S32°25'12\"
24	116.16'	S32°25'12\"
25	116.16'	S32°25'12\"

**CURVE TABLE**

CURVE #	LENGTH	BEARING	CHORD BEARING	CHORD LENGTH
1	116.16'	S32°25'12\"	S32°25'12\"	116.16'
2	116.16'	S32°25'12\"	S32°25'12\"	116.16'
3	116.16'	S32°25'12\"	S32°25'12\"	116.16'
4	116.16'	S32°25'12\"	S32°25'12\"	116.16'
5	116.16'	S32°25'12\"	S32°25'12\"	116.16'
6	116.16'	S32°25'12\"	S32°25'12\"	116.16'
7	116.16'	S32°25'12\"	S32°25'12\"	116.16'
8	116.16'	S32°25'12\"	S32°25'12\"	116.16'
9	116.16'	S32°25'12\"	S32°25'12\"	116.16'
10	116.16'	S32°25'12\"	S32°25'12\"	116.16'
11	116.16'	S32°25'12\"	S32°25'12\"	116.16'
12	116.16'	S32°25'12\"	S32°25'12\"	116.16'
13	116.16'	S32°25'12\"	S32°25'12\"	116.16'
14	116.16'	S32°25'12\"	S32°25'12\"	116.16'
15	116.16'	S32°25'12\"	S32°25'12\"	116.16'
16	116.16'	S32°25'12\"	S32°25'12\"	116.16'
17	116.16'	S32°25'12\"	S32°25'12\"	116.16'
18	116.16'	S32°25'12\"	S32°25'12\"	116.16'
19	116.16'	S32°25'12\"	S32°25'12\"	116.16'
20	116.16'	S32°25'12\"	S32°25'12\"	116.16'
21	116.16'	S32°25'12\"	S32°25'12\"	116.16'
22	116.16'	S32°25'12\"	S32°25'12\"	116.16'
23	116.16'	S32°25'12\"	S32°25'12\"	116.16'
24	116.16'	S32°25'12\"	S32°25'12\"	116.16'
25	116.16'	S32°25'12\"	S32°25'12\"	116.16'

- NOTES:**
- Plat of survey made by this surveyor in compliance with the Oklahoma Land Surveying Act and the Oklahoma State Board of Land Surveying and Mapping in accordance with the requirements of Title 11, Section 4-118 of the Oklahoma Statutes. This plat complies with the requirements of Title 11, Section 4-118 of the Oklahoma Statutes.
  - Monuments shall be as follows:  
 3/4\" iron rod with a Plastic Cap stamped "OK D877"
  - Measurements of the Common Area and Mens/Areas in Public Rights-of-Way shall be the horizontal distance between the points of beginning of the public rights-of-way and the points of beginning of the common area and/or driveway center lines. Certain monuments such as, but not limited to, utility poles, markers, and other, shall be provided if included in a manner to meet the requirements specified above.
  - Any addresses shown on this plat were accurate at the time this plat was filed. Addresses are subject to change and should never be relied upon in place of legal description.

**Crafton Tull**  
 CONSULTING ENGINEERING FIRM  
 1000 N. WILSON AVENUE, SUITE 100  
 BETHANY, OKLAHOMA 73108  
 PHONE: 581-332-8888  
 FAX: 581-332-8889  
 WWW.CRAFTONTULL.COM

FINAL PLAT  
 BETHANY FIELDS  
 2 OF 2  
 DATE: 02/29/26  
 PROJECT NO: 26512100



February 28, 2026

Brett Crecelius  
Community Development Director  
6700 NW 36th  
Bethany, OK 73008

RE: Response to City Engineers Comments for Bethany Fields Residential Development

Dear Mr. Crecelius,

The above referenced plans are being resubmitted to address the following deficiencies noted for the proposed Bethany Fields Residential Development:

#### FINAL PLAT

1. There is one call out that needs changed from 10' UE to 20' UE adjacent to Lot 2 Block 2.  
**Response: The callout has been updated to 20' UE**
2. Change 10' UE need to add DE around lots 19,20,21 and 22 Lot 1. See paving and drainage comments.  
**Response: The appropriate callouts have been updated to correspond with the revised storm drainage design.**

#### DRAINAGE REPORT

1. Paragraph 3.3, last sentence 22.10 does not match 23.10 in Table 1.2  
**Response: All tables have been reviewed and updated to reflect the revised design values.**
2. Paragraph 4.2.1 will need updated to add curb inlets on Divis and a drainage pipe to the east. The flume opening will not accept the runoff flowing in the new gutter on Divis, ie water does not turn 90 degrees. The existing opening from the existing parking lot was able to block flow with a partial curb to force water to the east through the ball field property. We recommend upsizing the inlet to ensure the stormwater is captured with no bypass.  
An additional inlet just south of NW 39th street on Divis will need to have an inlet added and pipe to the proposed detention pond A in the sump. Existing conditions in this area had a flume opening in the parking lot and the water flowed through the ball fields. See paving and drainage comments.  
**Response: Per discussion with Robbie Williams via phone on Friday, a curb inlet with flume connection to Pond A has been added due to the existing sump condition and relatively small contributing drainage area. Per the Teams meeting, Street inlets have been added and sized assuming 70% inlet efficiency. An 18-inch RCP has been designed to connect to the proposed storm system on N. Donna Avenue. Refer to the Storm Plans for additional details.**
3. Drainage Map C-107 – DA 1 should be extended further to the west to encompass the entire lots on the west side of Divis in analyzing the inlets to be installed in comment 2 above.



**Response: Drainage boundaries have been revised on all drainage maps to reflect half-lot drainage toward Divis Street.**

#### **PAVING AND DRAINAGE PLANS**

1. See attached sheet C-104 with comments. At two locations inlets need installed.  
**Response: See response to Drainage Report Comment No. 2.**
2. See attached sheet C202 with comments. Street inlet and not flume opening.  
**Response: See response to Drainage Report Comment No. 2.**

#### **SANITARY SEWER PLANS**

1. Sheet C-201 – change sand backfill to Type “A” Aggregate Base.  
**Response: Notes have been revised to remove duplicate references and to replace sand backfill with Type “A” Aggregate Base.**
2. Update topo for storm sewer changes and addition of storm sewer line. Also, for water change on NW 39th street.  
**Response: Sanitary Sewer Plans have been updated to reflect the revised storm sewer design and waterline modifications.**

#### **WATERLINE PLANS**

1. Defer location of fire hydrants to Fire Chief.  
**Response: Received a phone call from Raquelynne on 2/27/2026 indicating that the Fire Marshal has no additional comments, provided the development adheres to the approved Preliminary Plat layout.**
2. Sheet C-103 – Water General Note 41 – delete sand use Type “A” Aggregate Base.  
**Response: Notes have been revised to remove duplicate references and replace sand backfill with Type “A” Aggregate Base.**
3. See sheet C-103 for comments on extending waterline on the north side of NW 39th and adding 2 additional valves across from Bethany Village.  
**Response: Line C has been relocated to the north side of NW 39th Street per discussion with the City and City Engineer. Two gate valves are proposed on Line C and are positioned near lot lines to avoid driveway conflicts. Refer to the Watermain Plans for additional detail.**

#### **WATERLINE HYDRALIC ANALYSIS FOR WATERLINE**

1. The waterline hydraulic analysis was reviewed, and it is acceptable to submit to ODEQ with the engineering report when the permit to construct is submitted.  
**Response: The hydraulic analysis has been updated and resubmitted to reflect the revised watermain configuration.**

Please let us know if any additional information is required.

Respectfully,

Loyd Leon Spaugy III, P.E.

# CITY OF BETHANY PUBLIC WORKS AUTHORITY



PAVING & DRAINAGE PLANS  
FOR

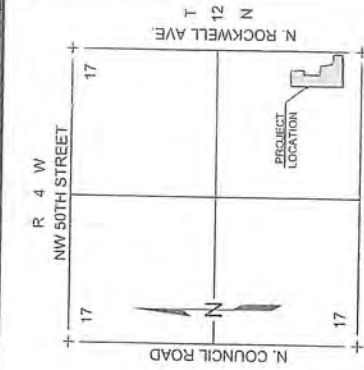
## BETHANY FIELDS

A PART OF THE SE/4, SECTION 17, T12N, R4W, I.M.  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA  
LANE MILES: 0.15

### SUMMARY OF QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
<b>PAVING QUANTITIES (PUBLIC)</b>				
1	6" CS CONCRETE	S.Y.	1879	
2	6" STABILIZED BASE	S.Y.	1806	
3	6" 2" BARBER CURB AND GUTTER	EA	50	
4	6" 2" V-CURB MANHOLES	EA	50	
5	5" SIDEWALK (ALONG COMMON AREAS)	L.F.	100	
6	5" SIDEWALK (ALONG SECTION LINE ROAD)	L.F.	170	
7	5" SIDEWALK (ADDITIONAL PAVING)	L.F.	20	
8	ADA RAMP	EA	2	
9	ADA FLARE CROSSING	EA	2	
10	REMOVAL OF EXISTING PAVING (NW 38TH ST. RDWY)	S.Y.	39	
<b>PAVING QUANTITIES (OVIS AVE CURB INSTALLMENT)</b>				
1	SAWTOOTH EXISTING PAVING	L.F.	957	
2	REMOVAL OF EXISTING PAVING (OVIS AVE)	S.Y.	270	
3	6" STABILIZED BASE	S.Y.	270	
4	6" 2" BARBER CURB AND GUTTER	L.F.	957	
<b>STORM SEWER QUANTITIES (PUBLIC)</b>				
1	10" 5' CURB INLET	EA	3	
2	10" 5' RCP PIPES	EA	1	
3	20" 18" ANCH	L.F.	273	
4	20" 18" ANCH	L.F.	58	
5	30" 27" ANCH	L.F.	49	
6	5' (D) MANHOLE	EA	1	
7	POND A OUTLET STRUCTURE	L.S.	1	
8	POND B OUTLET STRUCTURE	S.Y.	10	
9	POND C ENERGY OUTLET STRUCTURE	L.S.	1	
10	4.0' (D) MANHOLE WITH INSULATION	L.S.	1	
11	4.0' (D) MANHOLE WITH INSULATION	L.S.	1	
12	4' (D) CONCRETE TIE-IN	L.F.	11	
13	2" VIBR TRINGLE CHANNEL	L.F.	120	
14	BOLLARD	EA	2	
15	3' OUT WALL	EA	5	
16	CRUSHED ROCK BEDDING	C.Y.	110	
17	TYPE 'X' AGGREGATE (UNDER ROADWAY)	S.Y.	2	
18	12' (L) 6" (D) POLYESTER FABRIC MAT	S.Y.	20	
19	FLAME BARRIER	EA	1	
<b>EROSION CONTROL QUANTITIES (BT DEVELOPER)</b>				
1	TEMP CONSTRUCTION DRIVE	L.S.	1	
2	10' (L) 6" (D) CONCRETE CURB	L.F.	1770	
3	10' (L) 6" (D) CONCRETE CURB	S.Y.	250	
4	10' (L) 6" (D) CONCRETE CURB	S.Y.	500	
5	ROCK BAG BARRIERS	EA	1	
6	CONCRETE WASH OUT	EA	1	

**RECOMMENDATIONS:**  
FURNISH AND MAINTAIN ALL NECESSARY EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.  
NORTHWEST CORNER OF SECTION 17, T12N, R4W, I.M.  
EASTERN TOWN OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA  
DATE: 3/1/2026



LOCATION MAP  
SCALE: 1" = 1000'

The City of  
**BETHANY, OKLAHOMA**  
AMERICAN NATIONAL RECORDING & REPRODUCTION COMPANY  
SUBJECT: BETHANY, OKLAHOMA  
DATE: 3/1/2026

**CONTROL POINTS**

Point 1	Corner of NW 38th Street & R 4 W
Point 2	Corner of NW 38th Street & N Council Road
Point 3	Corner of NW 38th Street & N Rockwell Ave
Point 4	Corner of NW 38th Street & N Council Road

**SHEET INDEX**

SHEET NO.	DESCRIPTION
101	GENERAL NOTES
102	PAVING
103	STORM SEWERS
104	EROSION CONTROL
105	UTILITY LOCATIONS
106	ADDITIONAL PAVING
107	ADDITIONAL STORM SEWERS
108	ADDITIONAL EROSION CONTROL
109	ADDITIONAL UTILITY LOCATIONS
110	ADDITIONAL NOTES

ONE CALL UTILITY LOCATION NUMBER  
840-5072  
1-800-522-6543

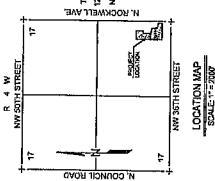
REVIEWED BY: \_\_\_\_\_  
DATE: 3/1/2026



FINAL PLAT

BETHANY FIELDS

A PART OF THE SE4 OF SECTION 17, T12N, R4W, L1M. CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



OWNER'S CERTIFICATE AND DEDICATION

I, the undersigned, a duly qualified and lawful bonded contractor of Oklahoma, do hereby certify that they own the corners of and the only owners of the land shown on the attached plat...

Nelson Partners, LLC
Michael Lane, Manager

LEGAL DESCRIPTION

That Nelson Partners, LLC, do hereby certify that they own the corners of and the only owners of the land shown on the attached plat...

NEWMAN PUBLIC, L.P. 20070725

CITY CLERK

City of Bethany, Oklahoma
City Clerk
Name

LAND SURVEYOR'S CERTIFICATE

I, LEE ALLEN SORREGER, do hereby certify that I am a PROFESSIONAL LAND SURVEYOR, and that...

LEE ALLEN SORREGER, PLS 1202

CITY PLANNING COMMISSION APPROVAL

Planning Director
Name

BONDED ABSTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawful bonded contractor of Oklahoma, do hereby certify that they own the corners of and the only owners of the land shown on the attached plat...

OSKALO TITLE OKLAHOMA, CO.
Vice-President
Name

COUNTY TREASURER'S CERTIFICATE

I, the undersigned, County Treasurer of Oklahoma County, State of Oklahoma, do hereby certify that I have received from the County Treasurer, the amount of money paid for the year...

COUNTY TREASURER
Name

ACCEPTANCE OF DEDICATION OF CITY COUNCIL

Be it remembered by the Council of the City of Bethany, Oklahoma, that the dedications shown on the attached plat have been accepted by the Council of the City of Bethany, Oklahoma, the date of this acceptance...

City Clerk
Name

CERTIFICATE OF CITY CLERK

City Clerk of the City of Bethany, State of Oklahoma, do hereby certify that I have examined the records of said City and find that the same are correct and true to the original and that the same have been filed in the office of the County Clerk...

CITY CLERK
Name

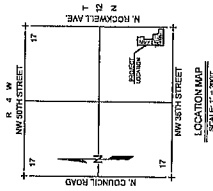
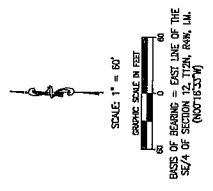
NOTES

- 1. The plat of survey meets the Oklahoma Uniform Standards for the Practice of Land Surveying and the Oklahoma Uniform Standards for the Practice of Professional Engineers and Land Surveyors...
2. Measurements shall be in accordance with the National Surveying System for all Parcel Surveys or other surveys...
3. The City of Bethany hereby certifies that it has the authority to acquire the land shown on this plat...

Professional seals for Lee Allen Sorreger (Professional Land Surveyor) and Michael Lane (Professional Engineer). Includes circular stamps for Oklahoma State Board of Professional Engineers and Surveyors, and Oklahoma State Board of Professional Engineers and Land Surveyors.

Crafton Tull logo and contact information: 1 OF 2 SHEET, DATE 02/25/25, PROJECT NO. 25512100. Includes website URL: www.craftontull.com

**FINAL PLAT**  
OF  
**BETHANY FIELDS**  
A PART OF THE SE/4 OF SECTION 17, T12N, R4W, L1M,  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



- LEGEND**
- P.O.B. POINT OF BEGINNING
  - EA. EXISTING
  - SW. SURVEY
  - BL. BUILDING LIFT LINE
  - UL. UTILITY EASEMENT
  - DE. DRAINAGE EASEMENT
  - PDE. PRIVATE DRAINAGE EASEMENT
  - (N) NEIGHBORHOOD LINE

**LINE TABLE**

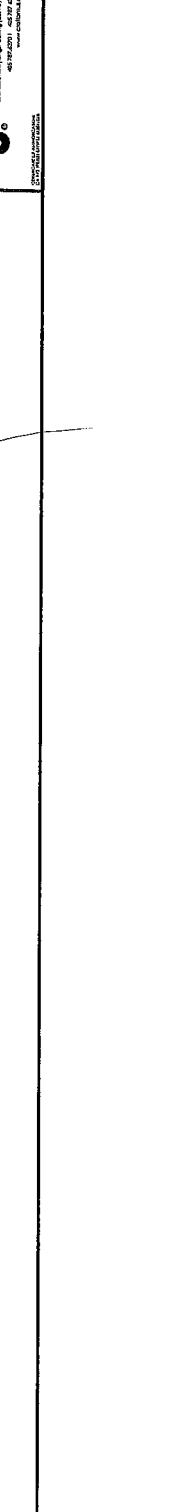
LINE #	LENGTH	BEARING
1	52.17	S89°25'12"W
2	115.00	S89°25'12"W
3	60.00	S89°25'12"W
4	18.00	S89°25'12"W
5	33.00	S89°25'12"W
6	30.00	S89°25'12"W
7	115.00	S89°25'12"W
8	115.00	S89°25'12"W
9	115.00	S89°25'12"W
10	115.00	S89°25'12"W
11	115.00	S89°25'12"W
12	115.00	S89°25'12"W
13	115.00	S89°25'12"W
14	115.00	S89°25'12"W
15	115.00	S89°25'12"W

**CURVE TABLE**

CURVE #	LENGTH	BEG. BEARING	END BEARING	CHORD LENGTH
1	52.17	S89°25'12"W	S89°25'12"W	52.17
2	115.00	S89°25'12"W	S89°25'12"W	115.00
3	60.00	S89°25'12"W	S89°25'12"W	60.00
4	18.00	S89°25'12"W	S89°25'12"W	18.00
5	33.00	S89°25'12"W	S89°25'12"W	33.00
6	30.00	S89°25'12"W	S89°25'12"W	30.00
7	115.00	S89°25'12"W	S89°25'12"W	115.00
8	115.00	S89°25'12"W	S89°25'12"W	115.00
9	115.00	S89°25'12"W	S89°25'12"W	115.00
10	115.00	S89°25'12"W	S89°25'12"W	115.00
11	115.00	S89°25'12"W	S89°25'12"W	115.00
12	115.00	S89°25'12"W	S89°25'12"W	115.00
13	115.00	S89°25'12"W	S89°25'12"W	115.00
14	115.00	S89°25'12"W	S89°25'12"W	115.00
15	115.00	S89°25'12"W	S89°25'12"W	115.00

**NOTES**

- This plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors and the Oklahoma State Board of Standards and Practices for Professional Engineers and Land Surveyors, Oklahoma State Standards.
- Monuments shall be as follows:
  - a. 1/2" iron pin with 1/4" Public Cap stamped "C.S. 1917"
  - b. 3/4" iron pin with 1/2" Public Cap stamped "C.S. 1917"
- Utility of the public shall be the responsibility of the owner. Any person who is to be placed with the responsibility of the public shall be the responsibility of the owner. Any person who is to be placed with the responsibility of the public shall be the responsibility of the owner. Any person who is to be placed with the responsibility of the public shall be the responsibility of the owner.
- Any addresses shown on this plat were extracted from the City of Bethany, Oklahoma. Addresses are subject to change and should never be relied upon in place of legal descriptions.



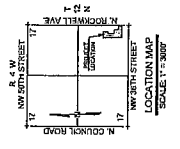
**CRAFTON TUILL**  
REGISTERED PROFESSIONAL LAND SURVEYOR  
OKLAHOMA  
601.272.6600  
WWW.CRAFTONTUILL.COM

**THE CITY OF BETHANY**  
115.00' x 60.00' x 115.00' x 115.00'  
N DIVIS AVENUE  
N ROCKWELL AVE  
NW 38TH STREET  
DONNA AVE

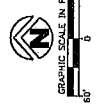
POINT OF COMMENCEMENT  
27' IRON ROD W/CAP "T1979 15 185"  
NE CORNER LOT 4 FOREST HIGHLANDS  
THE CITY OF BETHANY

**CITY OF BETHANY**  
CRAFTON TUILL  
REGISTERED PROFESSIONAL LAND SURVEYOR

SHEET NO. 2 OF 2  
DATE 07/31/25  
PROJECT NO. 25612100



**BETHANY FIELDS**  
 CITY OF BETHANY, OKLAHOMA



DATE:	
PROJECT:	
CLIENT:	
DESIGNER:	
CHECKER:	
APPROVER:	
DATE:	
PROJECT:	
CLIENT:	
DESIGNER:	
CHECKER:	
APPROVER:	

**DRAINAGE AND STORM SEWER GENERAL NOTES**

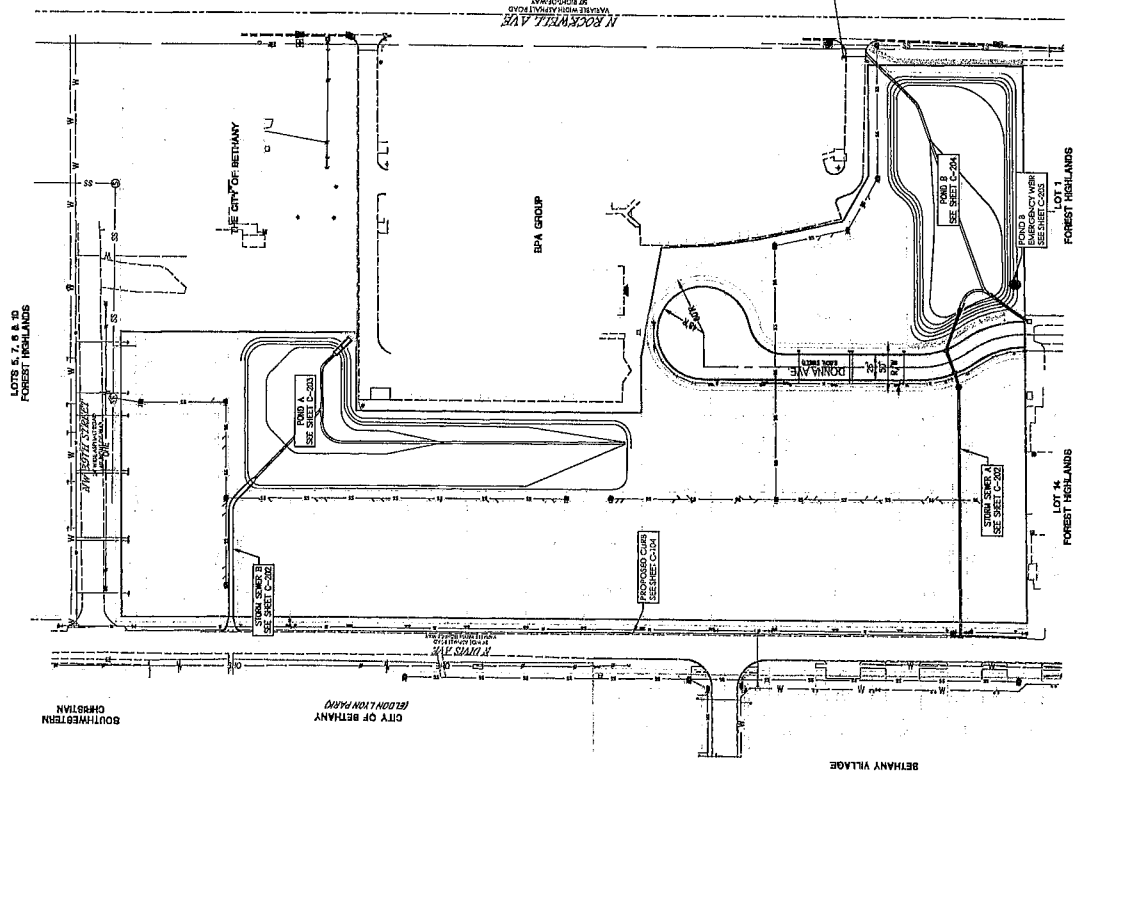
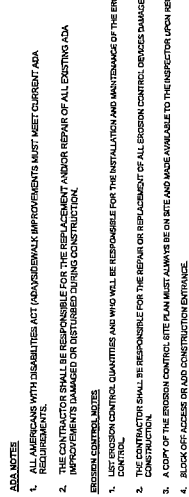
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR ALL CONSTRUCTION OF PUBLIC IMPROVEMENTS.
- ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE AS SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MAINTENANCE OF ALL UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION.
- ALL UTILITIES SHALL BE PROTECTED BY A 12" MINIMUM THICKNESS OF CONCRETE. THE CONCRETE SHALL BE PLACED AND FINISHED PRIOR TO THE CONSTRUCTION OF THE PAVING. THE CONCRETE SHALL BE PLACED AND FINISHED PRIOR TO THE CONSTRUCTION OF THE PAVING. THE CONCRETE SHALL BE PLACED AND FINISHED PRIOR TO THE CONSTRUCTION OF THE PAVING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND FOR THE REPLACEMENT AND MAINTENANCE OF ALL UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MAINTENANCE OF ALL UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION.

**ADA NOTE**

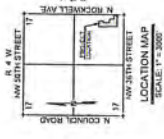
- ALL AMERICANS WITH DISABILITIES ACT (ADA) SIDEWALK IMPROVEMENTS MUST MEET CURRENT ADA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND/OR REPAIR OF ALL EXISTING ADA IMPROVEMENTS DAMAGED OR DISTURBED DURING CONSTRUCTION.

**EROSION CONTROL NOTES**

- LET EROSION CONTROL QUANTITIES AND WHO WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND/OR REPAIR OF ALL EXISTING ADA IMPROVEMENTS DAMAGED OR DISTURBED DURING CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST ALWAYS BE ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- BLOCK OFF ACCESS OR ROAD CONSTRUCTION ENTRANCE.
- A MINIMUM OF 18" OF SOIL IS REQUIRED AROUND ALL CURBS AND FUMEL.







**BETHANY FIELDS**  
 CITY OF BETHANY, OKLAHOMA

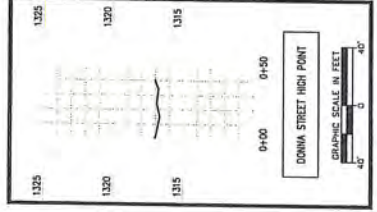


NO.	DATE	DESCRIPTION

THIS DRAWING IS A PROFESSIONAL ENGINEERING DESIGN AND CONSTRUCTION DOCUMENT. IT IS THE PROPERTY OF CRAFTON TULL CIVIL ENGINEERING AND SHALL REMAIN THE PROPERTY OF CRAFTON TULL CIVIL ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF CRAFTON TULL CIVIL ENGINEERING IS STRICTLY PROHIBITED.

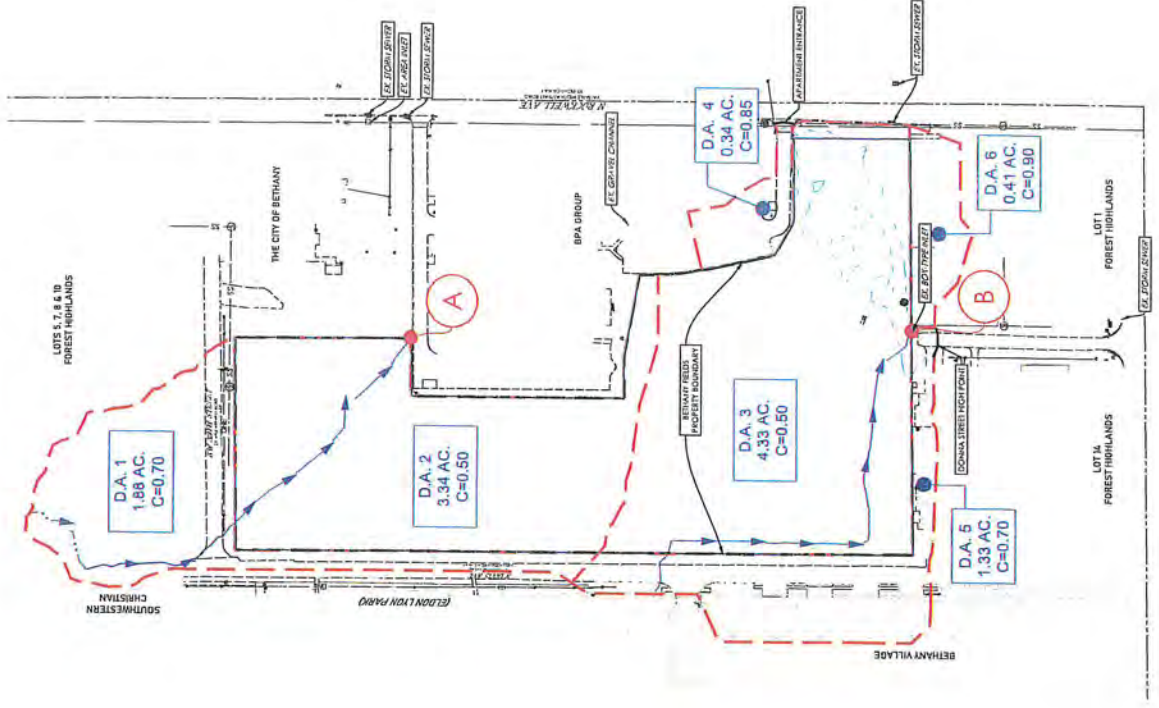
DESIGNED BY: JEFFREY J. CRAFTON  
 CHECKED BY: JEFFREY J. CRAFTON  
 DATE: 08/20/2019

ISSUED FOR CONSTRUCTION



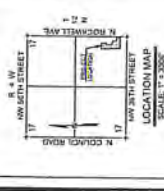
**LEGEND**

- EXISTING CONTOURS
- EXISTING DRAINAGE AREAS
- PROPOSED LOW POINT (ONLAND)
- PROPOSED LOW POINT (CHANNEL)
- EX. LOWER FLOOD CONDITIONS (PER DRAINAGE STUDY)
- PROPOSED DRAINAGE POINT









**BETHANY FIELDS**  
CITY OF BETHANY, OKLAHOMA



NO.	REVISION	DATE

**DESIGNED BY**  
CRAFTON TULL

**CHECKED BY**  
CRAFTON TULL

**DATE**  
10/24/2007

**DRAWN BY**  
CRAFTON TULL

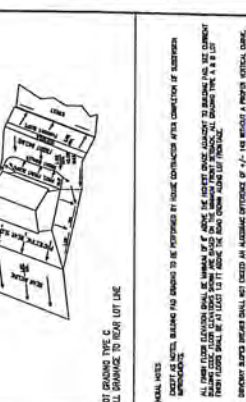
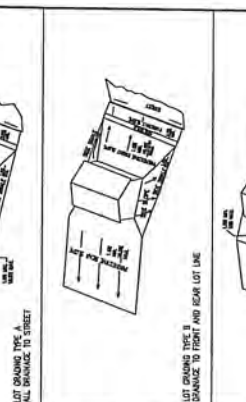
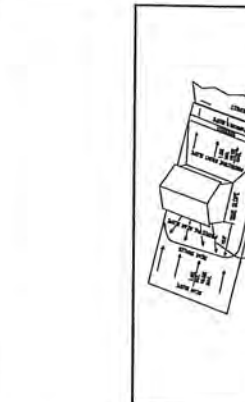
**SCALE**  
AS SHOWN

**ISSUED FOR CONSTRUCTION**

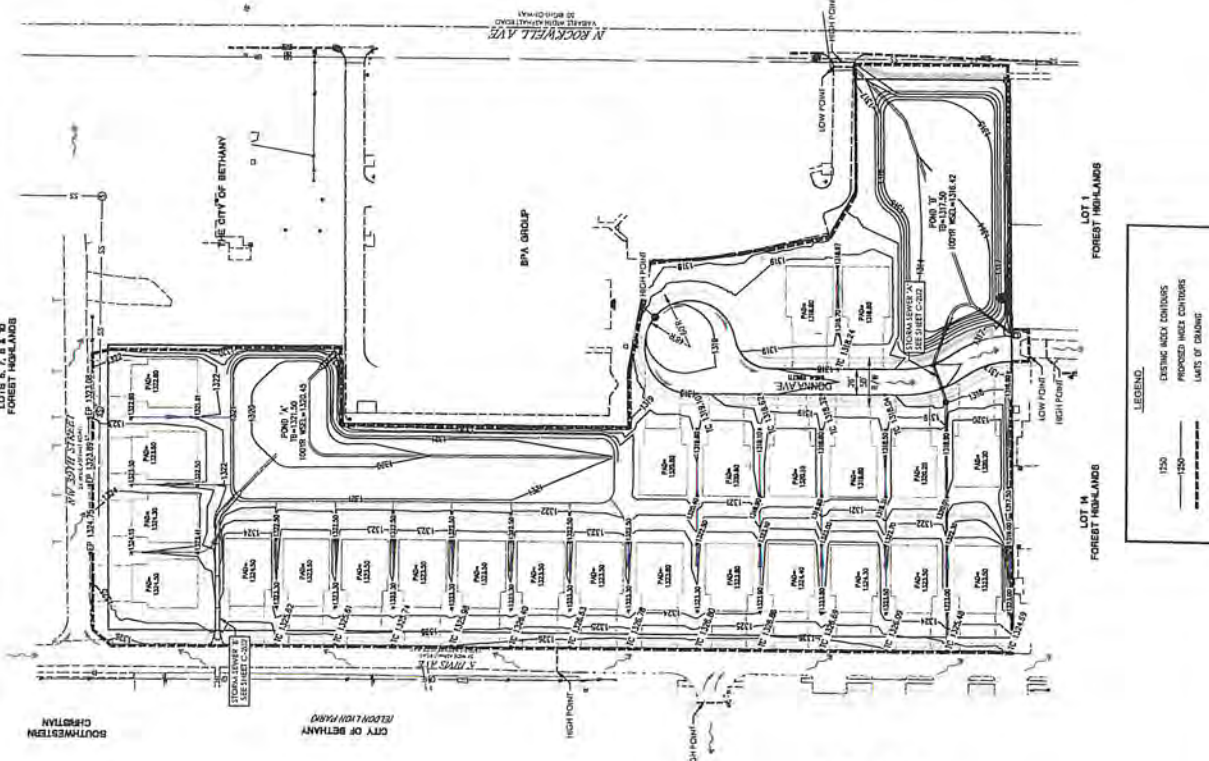
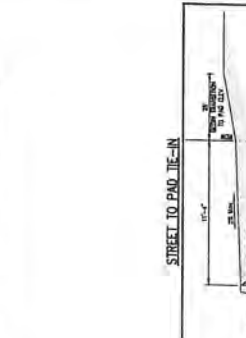
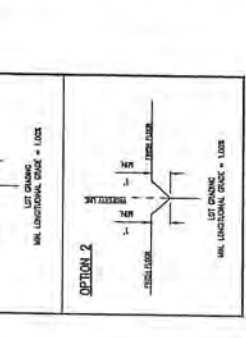
**GRADING PLAN**

BETHANY FIELDS

- DESIGN NOTES**
- EXISTING AS NOTED, BUILDING PAD GRADING TO BE DETERMINED BY HOUSE CONTRACTORS AFTER COMPLETION OF FOUNDATION IMPROVEMENTS. PAD GRADING IS REQUIRED ON ALL LOTS SHOWING ELEVATIONS. EXISTING STUMP GRADING IS ALLOWED ON ALL REMAINING LOTS WITHOUT REQUIRED PAD ELEVATIONS.
  - ALL EXISTING FOUNDATION SHALL BE WEARERS OF 4" ASPHALT. THE HOUSE SHALL BE ADJACENT TO BUILDING PAD. SEE EXISTING RECORD FLOOR ELEVATIONS SHOWN ON THIS PLAN. ALL LOTS SHALL BE AT LEAST 18" FROM THE ROAD RIGHT OF WAY. ALL GRADING TYPE A & B LOT FINISH FLOORS SHALL BE AT LEAST 18" FROM THE ROAD RIGHT OF WAY. ALL FINISH FLOORS SHALL BE AT LEAST 18" FROM THE ROAD RIGHT OF WAY.
  - HOUSEYARD GRASS SHALL NOT EXCEED AN ALGEBRAIC DIFFERENCE OF +/- 1% WEARER A PROPER VERTICAL CURVE.
  - WEARERS SHALL HAVE SPECIMEN TESTS AND DO NOT EXCEED WEARER VARIATION.
  - SPACING OF STABILIZERS TO BE DETERMINED BY HOUSE CONTRACTORS. TO MAINTAIN A MINIMUM OF 2.07' ABOVE PROPOSED FINISH GRADE. ALL STABILIZERS TO BE PLACED ON FILL.
  - AREAS EXPOSED BY COMPARISON OF SLOPING SHALL BE COMPACTED TO MINIMUM DENSITY OF 93% AND COMPARED TO NOT LESS THAN 80% OF MAXIMUM DENSITY, IN PLACEMENT AND NOT MORE THAN 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.
  - ALL FILLS ON THIS PROJECT, INCLUDING ON LOTS ARE TO BE CONTROLLED FILLS, AND SHALL BE PLACED IN LOTS OR LAYS NOT TO EXCEED 8" THICK LAYERS, MEASURE AND COMPACTED TO NOT LESS THAN 93% OF MAXIMUM DENSITY, IN PLACEMENT AND NOT MORE THAN 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT. AT MOISTURE CONTENT OF NOT LESS THAN 1 PERCENT BELOW AND NOT MORE THAN 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.
  - FIELD DENSITY TESTS FOR ALL FILL AREAS WILL BE PERFORMED BY THE CONTRACTORS. THE CONTRACTORS SHALL SUBMIT FIELD DENSITY TESTS TO THE CITY ENGINEER. ALL TESTS SHALL INCLUDE NOT LESS THAN 10% MORE THAN 1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT. ALL TESTS SHALL INCLUDE NOT LESS THAN 10% MORE THAN 1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT. ALL TESTS SHALL INCLUDE NOT LESS THAN 10% MORE THAN 1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT. ALL TESTS SHALL INCLUDE NOT LESS THAN 10% MORE THAN 1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.
  - CORRECTIVE MEASURES FOR NON-COMPLYING COMPACTION SHALL CONSIST OF REMOVAL AND REPLACEMENT OF FILL AREAS UNTIL PROPER COMPACTION IS OBTAINED AT NO ADDITIONAL CHARGE TO OWNER.



- DESIGN NOTES**
- EXISTING AS NOTED, BUILDING PAD GRADING TO BE DETERMINED BY HOUSE CONTRACTORS AFTER COMPLETION OF FOUNDATION IMPROVEMENTS.
  - ALL EXISTING FOUNDATION SHALL BE WEARERS OF 4" ASPHALT. THE HOUSE SHALL BE ADJACENT TO BUILDING PAD. SEE EXISTING RECORD FLOOR ELEVATIONS SHOWN ON THIS PLAN. ALL LOTS SHALL BE AT LEAST 18" FROM THE ROAD RIGHT OF WAY. ALL FINISH FLOORS SHALL BE AT LEAST 18" FROM THE ROAD RIGHT OF WAY. ALL FINISH FLOORS SHALL BE AT LEAST 18" FROM THE ROAD RIGHT OF WAY.
  - HOUSEYARD GRASS SHALL NOT EXCEED AN ALGEBRAIC DIFFERENCE OF +/- 1% WEARER A PROPER VERTICAL CURVE.
  - WEARERS SHALL HAVE SPECIMEN TESTS AND DO NOT EXCEED WEARER VARIATION.
- TYPICAL DRAINAGE DIMENSIONAL GRADING PLAN**



**LEGEND**

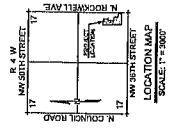
1530 EXISTING WATER CONTOURS

1520 PROPOSED WATER CONTOURS

LOT OF GRADING

PROPOSED PAD ELEVATION

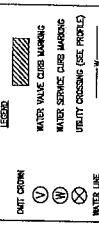
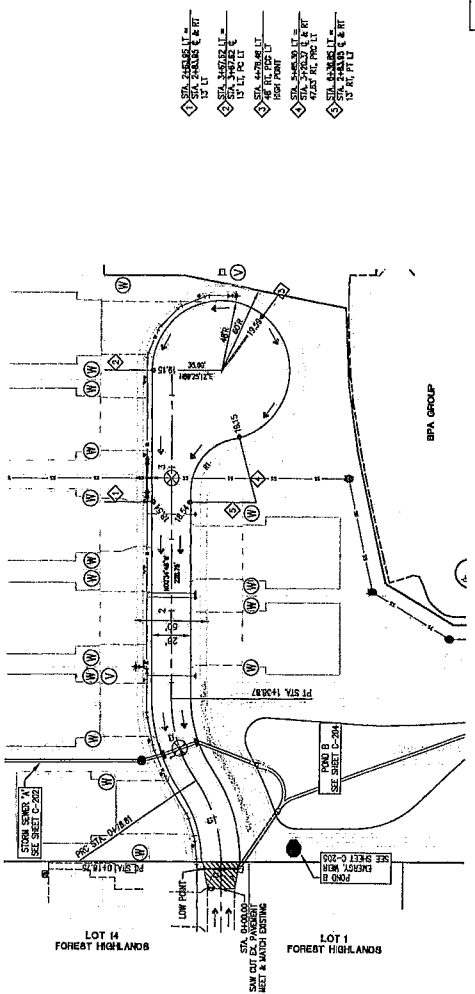




BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA

ISSUED FOR  
 CONSTRUCTION  
 DONNA AVENUE

C-201

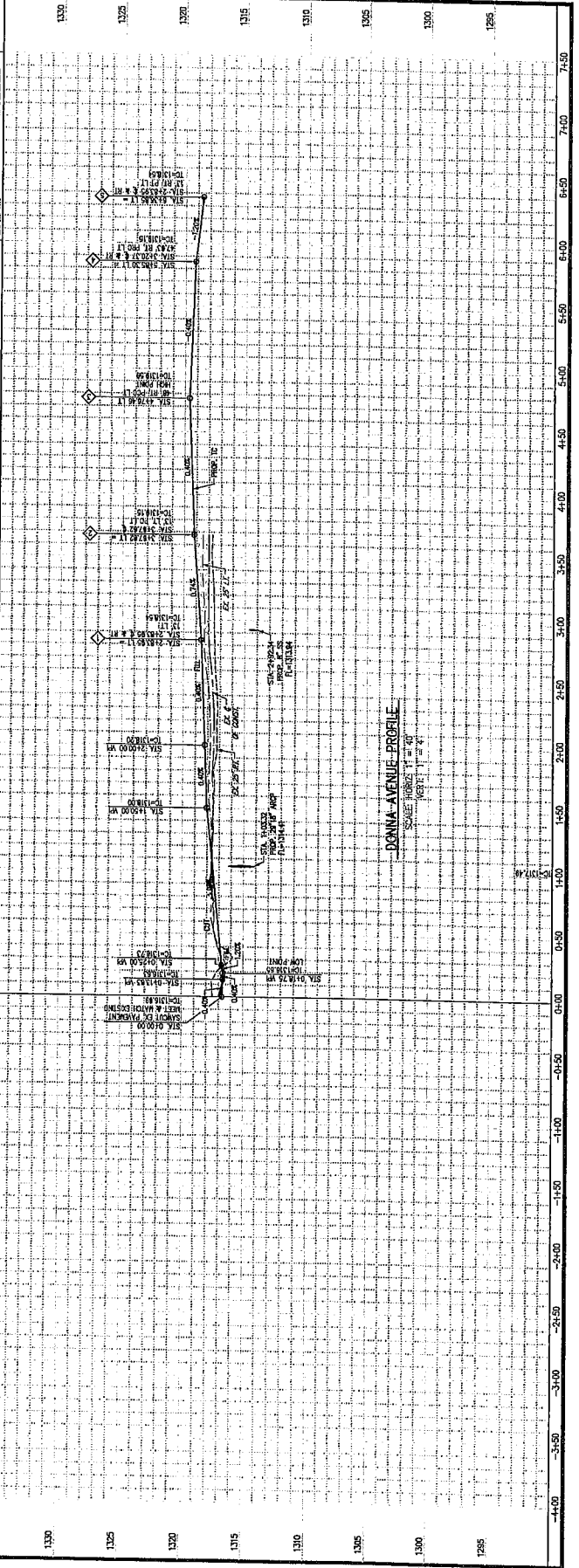


LINE #	LENGTH	MARKS	DELTA
01	88.21'	41.02'	7444.03'

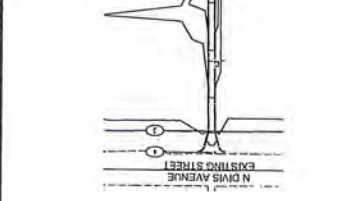
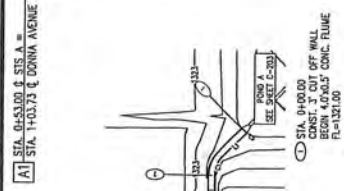
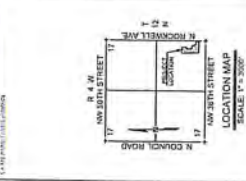
LINE #	LENGTH	MARKS	DELTA
01	88.21'	41.02'	7444.03'

NOTES:  
 SEE PLAN VIEW  
 FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 95%  
 STANDARD PROCTOR DENSITY

—DONNA AVENUE—PROFILE



BETHANY FIELDS

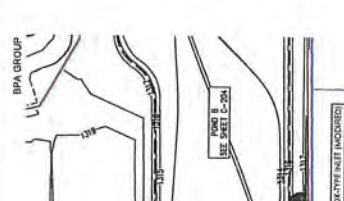
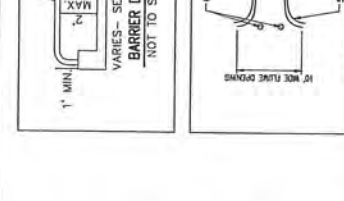


**PARCEL LINE TABLE**

LINE #	LENGTH	BEARING	DELTA	CONV. CONC. FLUME	CHORD LENGTH
L1	23.57'	N85°34'48"W			15.37'
L2	10.33'	S87°25'12"W			15.37'

**CURVE TABLE**

CHORD #	LENGTH	RADIUS	DELTA	CONV. CONC. FLUME	CHORD LENGTH
C1	15.37'	2500'	150°00'	IMP OF 48"	15.37'



**BETHANY FIELDS**  
 CITY OF BETHANY, OKLAHOMA

**STORM SEWER "A" PROFILE**  
 SCALE: HORIZ. 1" = 40'  
 VERT. 1" = 4'

**STORM SEWER "B" PROFILE**  
 SCALE: HORIZ. 1" = 40'  
 VERT. 1" = 4'

**STORM SEWER "A" & "B" PLAN**  
 GRAPHIC SCALE IN FEET: 0, 20, 40

**NOTES**  
 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 85% STANDARD PROCTOR DENSITY.

**NOTES**  
 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 85% STANDARD PROCTOR DENSITY.

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**NOTES**  
 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 85% STANDARD PROCTOR DENSITY.

**BETHANY FIELDS**  
 CITY OF BETHANY, OKLAHOMA

**STORM SEWER "A" PROFILE**  
 SCALE: HORIZ. 1" = 40'  
 VERT. 1" = 4'

**STORM SEWER "B" PROFILE**  
 SCALE: HORIZ. 1" = 40'  
 VERT. 1" = 4'

**STORM SEWER "A" & "B" PLAN**  
 GRAPHIC SCALE IN FEET: 0, 20, 40

**NOTES**  
 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 85% STANDARD PROCTOR DENSITY.

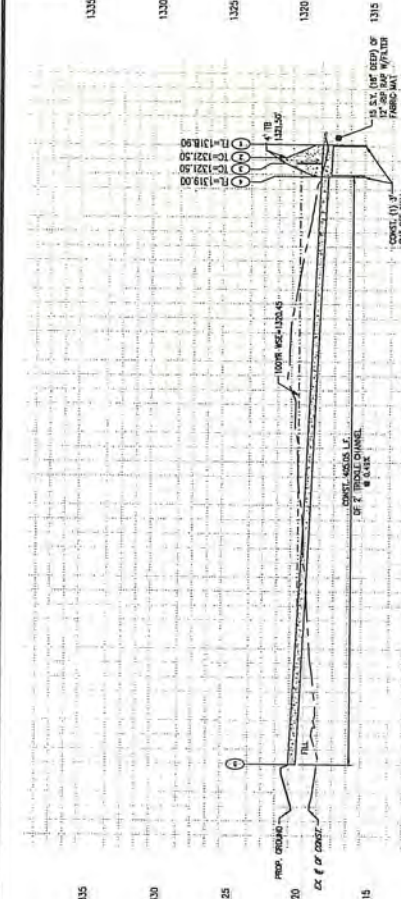
**NOTES**  
 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 85% STANDARD PROCTOR DENSITY.

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 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
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**NOTES**  
 SEE PLAN VIEW FOR SPOT ELEVATIONS.  
 FILL COMPACTED TO 85% STANDARD PROCTOR DENSITY.



**POND 'A' PLAN**

LEGEND

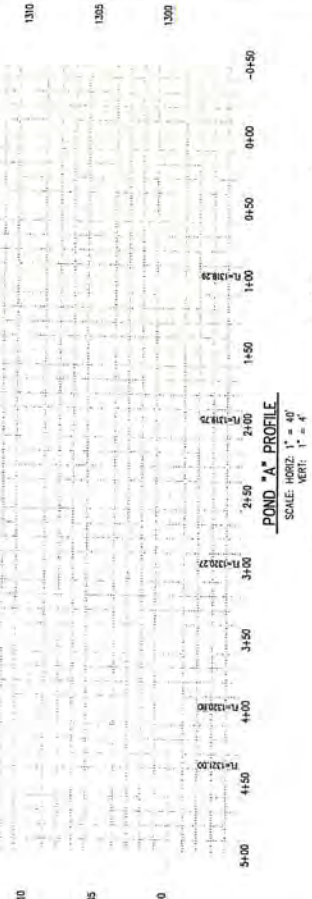
- UTILITY CROSSING (SEE PROFILE)
- PROP. 2" WIDE CONCRETE

STA. 0+00.00  
 PLACE 15 S.Y. OF 12" RP-RAP  
 W/ FILTER FABRIC MAT (1/4" DEEP)  
 END 2.5' TO 0.5' TC TRANSITION  
 BEG. 2" WIDE TRICKLE CHANNEL  
 CONST. 3' CUT OFF WALL  
 TC=1318.40  
 FL=1318.50

STA. 0+25.00  
 END 2.5' TO 0.5' CURB  
 W/ 4" WIDE MBR W/ 0.5" CURB  
 BEG. 2" WIDE TRICKLE CHANNEL  
 CONST. 3' CUT OFF WALL  
 TC=1318.40  
 FL=1318.50

STA. 0+50.00  
 CONT. 4" WIDE MBR  
 END 0.5' TO 2.1' TC TRANSITION  
 BEG. 2" WIDE TRICKLE CHANNEL  
 CONST. 3' CUT OFF WALL  
 TC=1318.40  
 FL=1318.50

STA. 0+113.00  
 CONT. 4" WIDE MBR  
 END 0.5' TO 0.5' TC TRANSITION  
 BEG. 2" WIDE TRICKLE CHANNEL  
 CONST. 3' CUT OFF WALL  
 TC=1321.50  
 FL=1318.50



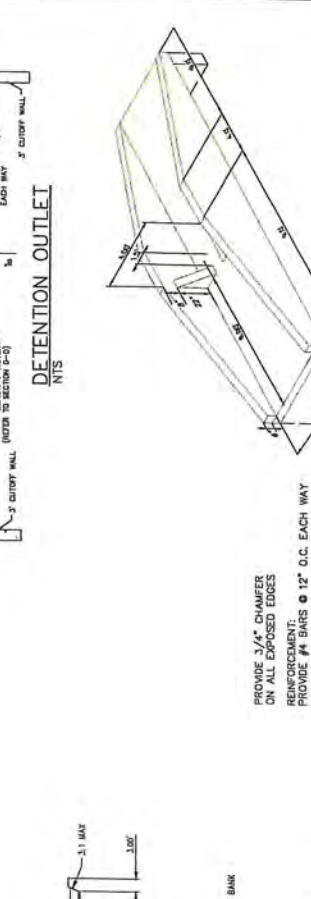
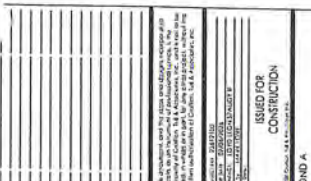
**POND 'A' PROFILE**  
 SCALE: HORIZ. 1" = 40'  
 VERT. 1" = 4'

CONCRETE TRICKLE CHANNEL DETAIL OR LAM. CROSS SLIDE

- 3" EXPANSION JOINT @ 10' MAXIMUM
- SAND CONSTRUCTION JOINT @ 2' MAXIMUM

**CURVE TABLE**

LINE #	LENGTH	SECTION	START POINT	END POINT	CURVE #	LENGTH	RADIUS	CHORD LENGTH	START POINT	END POINT
L1	15.31'	1402' 29" 45°N	(108108.36, 2079284.13)	(108108.36, 2079284.22)	C1	7.86'	10.00'	7.86'	(108108.36, 2079284.22)	(108108.36, 2079284.10)
L2	53.74'	286° 25' 17°N	(108108.36, 2079284.10)	(108108.36, 2079282.26)	C2	31.42'	70.00'	28.20'	(108108.36, 2079282.26)	(108108.36, 2079282.47)
L3	300.11'	50° 34' 47°E	(108108.36, 2079282.47)	(108108.36, 2079282.60)					(108108.36, 2079282.60)	(108108.36, 2079282.47)
L4	108.22'	145° 34' 47°E	(108108.36, 2079282.60)	(108108.36, 2079283.23)					(108108.36, 2079283.23)	(108108.36, 2079282.47)



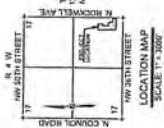
**SECTION D-D**  
 NIS

PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES  
 REINFORCEMENT: PROVIDE #4 BARS @ 12" O.C. EACH WAY

**SECTION C-C**  
 NIS

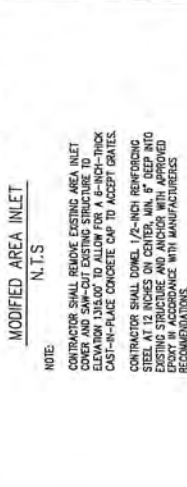
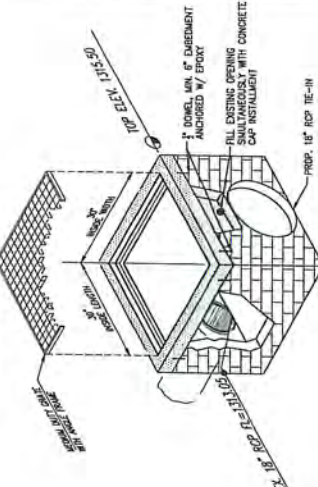
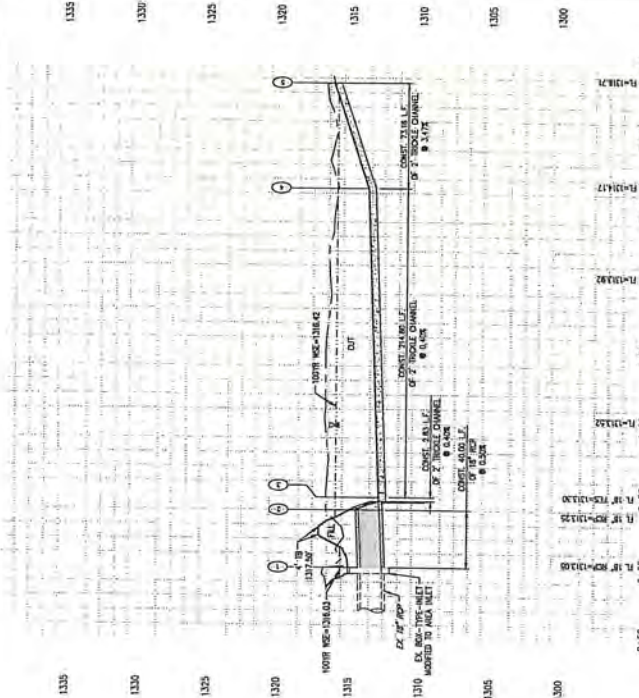
**SECTION B-B**  
 NIS

**SECTION A-A**  
 NIS

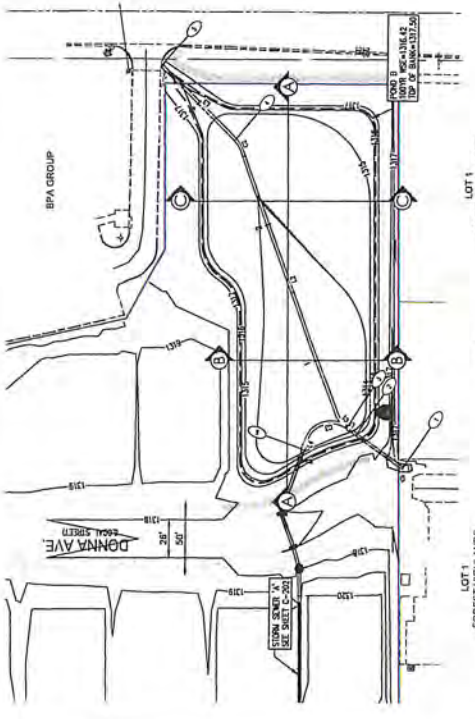


BETHANY FIELDS  
 CIT OF BETHANY, OKLAHOMA

C-204



- STA. 0+00.00  
 MOOREY EX. AREA INLET TO GRATES (REFER TO DETAIL) BEHIND 18" RCP  
 FL=1313.00
- STA. 0+48.81  
 CONST. 18" RCP RIS (6.00') CONST. 3" OUT OF WALL BEHIND 2" WIDE TRICKLE CHANNEL  
 FL=1313.00
- STA. 0+48.81  
 TRICKLE CHANNEL FROM SWAY CHANNEL TO 315 A  
 FL=1313.00
- STA. 2+63.51  
 2" WIDE TRICKLE CHANNEL  
 FL=1313.42
- STA. 3+38.87  
 END 2" WIDE TRICKLE CHANNEL TO 12" RCP INLET  
 FL=1316.71
- STA. 0+48.70  
 2" WIDE TRICKLE CHANNEL  
 FL=1313.45



LOT 1 FOREST HIGHLANDS

LOT 1 FOREST HIGHLANDS

LEGEND:  
 - - - - - EXISTING CONTOURS  
 ———— PROPOSED CONTOURS

GRAPHIC SCALE IN FEET: 0 10 20 30 40

POND "B" PLAN

PARCEL LINE TABLE		CURVE TABLE		CURVE TABLE	
LINE #	SECTION	START POINT	END POINT	START POINT	END POINT
U1	2.65'	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)
L2	13.20'	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)
L3	73.10'	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)
L4	7.27'	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)	(105483.07, 207836.170)



**Craftron Tull**
  
 Professional Engineer
   
 Oklahoma State University
   
 204 West 17th Avenue, Suite 1410
   
 Stillwater, Oklahoma 74080
   
 Tel: 405.844.1350
   
 Fax: 405.844.1350



N. COUNCIL ROAD  
 N. 4th STREET  
 N. 5th STREET  
 N. 6th STREET  
 N. 7th STREET  
 PROJECT LOCATION  
 SCALE 1" = 200'



DISTINGUISHING  
 PROPOSED CONTOURS  
 1:250  
 1:100

**LOT 1 - FOREST HIGHLANDS**  
 BEING PLACED IN THE S.W. CORNER OF THE SECTION BY THE  
 ORDER OF THE DISTRICT COURT IN AND FOR THE COUNTY OF  
 DEKALB, OKLAHOMA.  
 F.L. NO. 1316-1317-1318  
 F.L. NO. 1319-1320-1321

STA. 0+00.00  
 BEG. PLACEMENT OF 18 S.Y. OF FLEXA-MAT  
 END 0.0' TO 25.0' TRANSITION  
 F.L. NO. 1316-1317

STA. 0+04.50  
 BEG. PLACEMENT OF 18 S.Y. OF FLEXA-MAT  
 END 0.0' TO 25.0' TRANSITION  
 F.L. NO. 1317-1318

STA. 0+08.50  
 CONT. PLACEMENT OF 18 S.Y. OF FLEXA-MAT  
 BEG. 25.0' TO 0.0' TRANSITION  
 F.L. NO. 1319-1320

STA. 0+12.00  
 BEG. PLACEMENT OF 18 S.Y. OF FLEXA-MAT  
 END 25.0' TO 0.0' TRANSITION  
 F.L. NO. 1321-1322



EMERGENCY OUTLET  
 SECTION A-A  
 100'

COMPACTED FILL

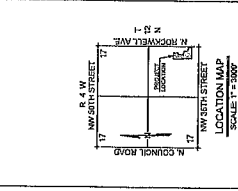
BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA

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DATE: 08/15/2024  
 SCALE: 1" = 200'  
 PROJECT: BETHANY FIELDS  
 SHEET: C-205

C-205

BETHANY FIELDS



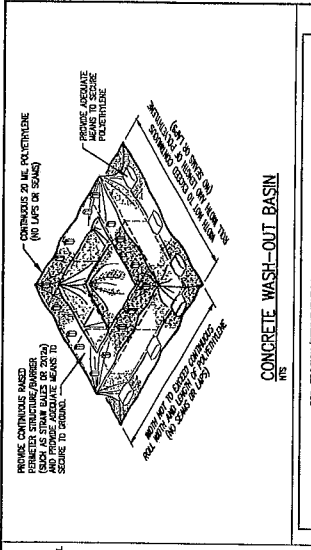
**BETHANY FIELDS**  
 CIT OF BETHANY, OKLAHOMA

**DISCLOSED OWNER:**  
 TIGER SIGNAL PARK HOME  
 7210 S  
 7210 E  
 BETHANY, OKLAHOMA 73103

**DATE:** 08/14/2013  
**PROJECT:** TIGER SIGNAL PARK HOME  
**SCALE:** AS SHOWN

**ACREAGE SUMMARY**

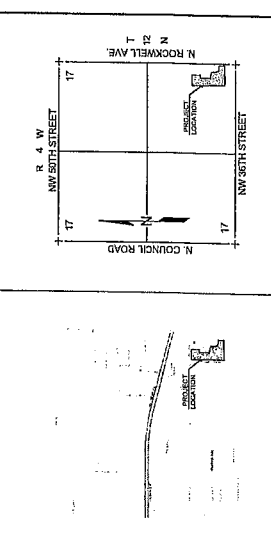
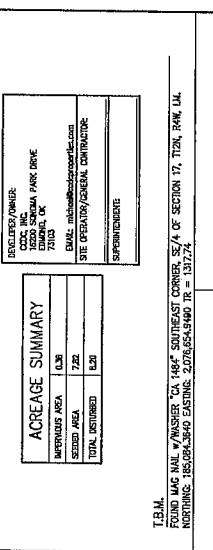
IMPROVED AREA	0.38
SEIZED AREA	2.36
TOTAL DISTURBED	2.74



**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SCHEDULE	CONTRACTOR TO COMPLETE	DATE
FOUNDATION / BUILDING CONSTRUCTION		
PERMANENT CENTRAL STRUCTURES		
FINISH GRADING		
LANDSCAPING/VEGETATION STABILIZATION		



**USGS QUADRANGLE MAP**

**SCALE:** AS SHOWN

**PHASE I - PRELIMINARY CONSTRUCTION**

1. PRELIMINARY CONSTRUCTION SHALL BE LIMITED TO THE INSTALLATION OF THE FOLLOWING: FENCING, FILL, DRAINAGE, AND OTHER NECESSARY ITEMS TO PREPARE THE SITE FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
3. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

**GENERAL EROSION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL EROSION CONTROL MEASURES.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT SOIL EROSION AND SEDIMENTATION.
4. ALL EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT SOIL EROSION AND SEDIMENTATION.
5. ALL EROSION CONTROL MEASURES SHALL BE DESIGNED TO PREVENT SOIL EROSION AND SEDIMENTATION.

**ACREAGE SUMMARY**

IMPROVED AREA	0.38
SEIZED AREA	2.36
TOTAL DISTURBED	2.74

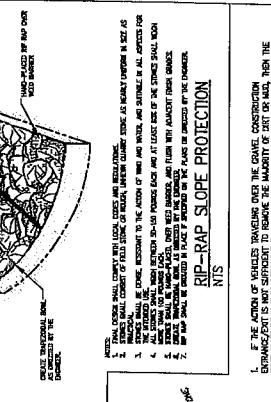
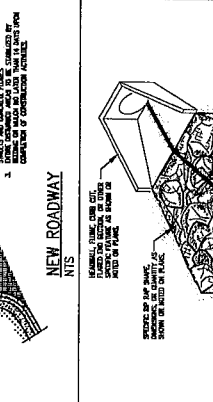
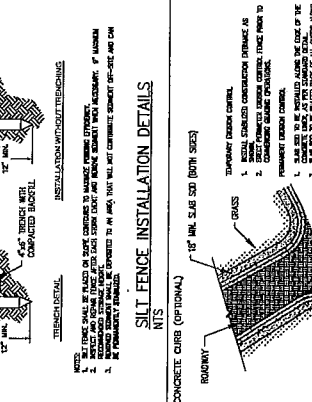
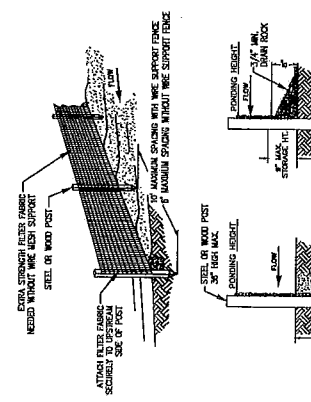
**TABLE**

FOUND MAG NAIL W/ANISER, CA 1987, SOUTHEAST CORNER, SE/4 OF SECTION 17, T10N, R4W, L14.

NORTHINGS: 5250.000 EASTINGS: 520.000 ELEVATION: 1211.72

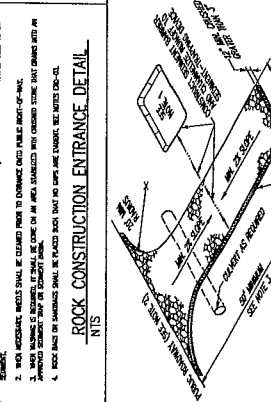
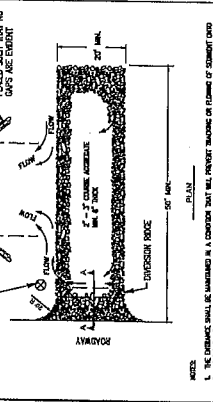
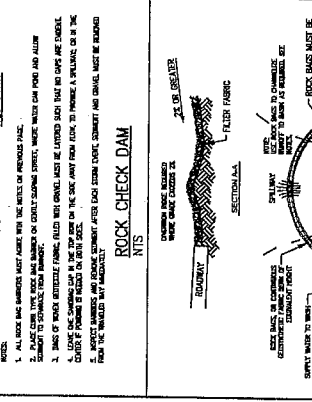
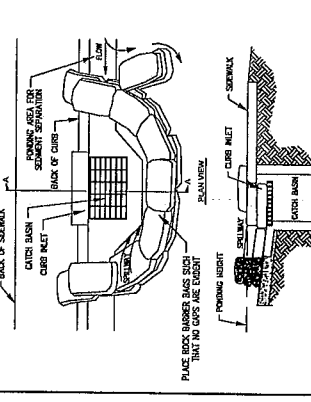
**USGS QUADRANGLE MAP**

**SCALE:** AS SHOWN



**STABILIZED CONSTRUCTION EXIT (ENTRANCE)**

**SCALE:** AS SHOWN



**STABILIZED CONSTRUCTION EXIT (ENTRANCE)**

**SCALE:** AS SHOWN



BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA



REVISIONS

NO.	DESCRIPTION	DATE

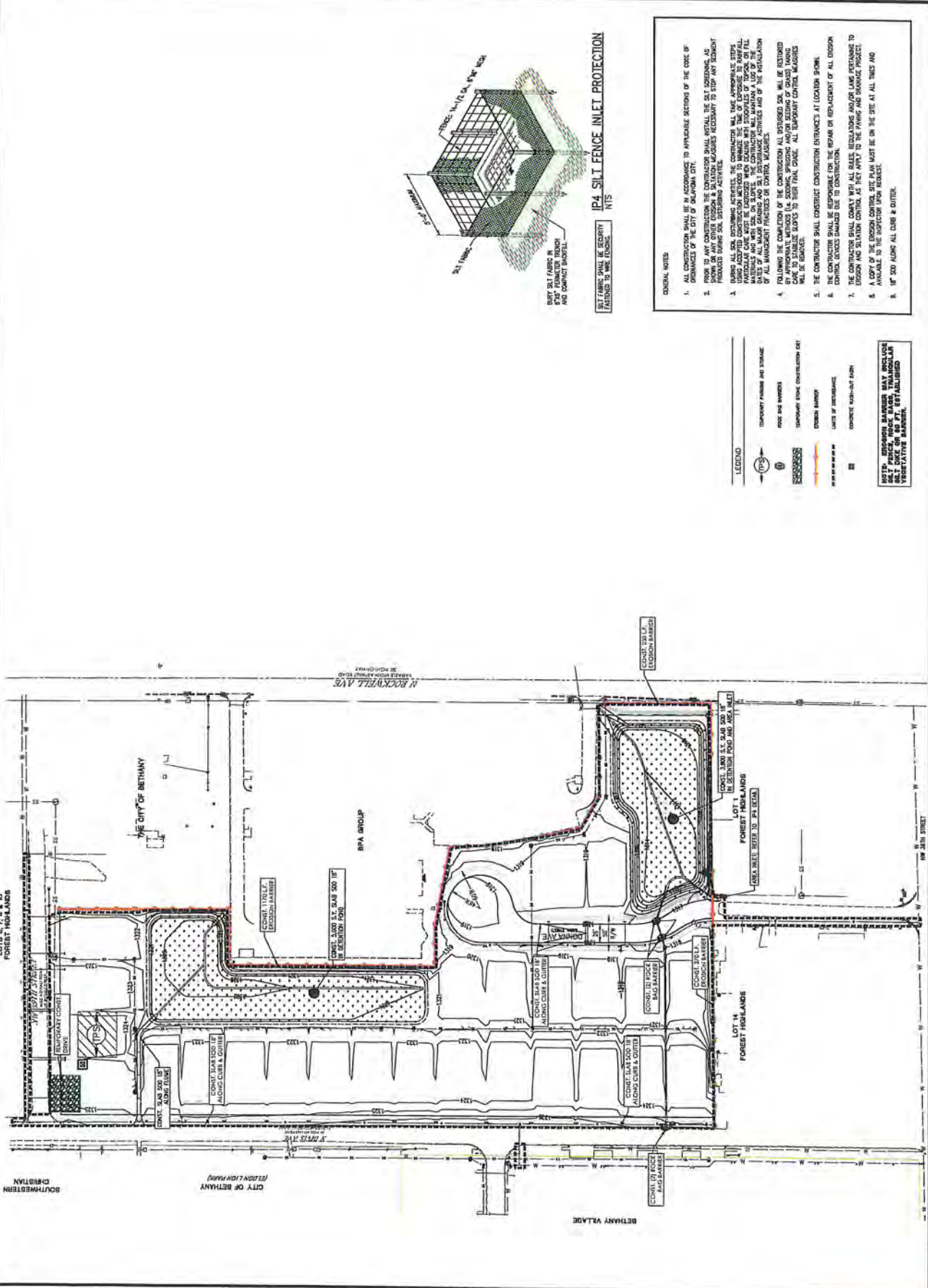
ISSUED FOR CONSTRUCTION

PROJECT: BETHANY FIELDS  
 DRAWN: J. W. HARRIS  
 CHECKED: J. W. HARRIS  
 DATE: 11/27/2012

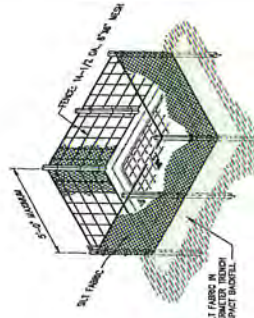
PROJECT LOCATION: BETHANY, OKLAHOMA

SCALE: AS SHOWN

ISSUED FOR CONSTRUCTION



**IP4 SILT FENCE INLET PROTECTION**  
 NTS



- GENERAL NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO APPLICABLE SECTIONS OF THE CODE OF ORDINANCES OF THE CITY OF BETHANY, OKLAHOMA.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BETHANY, OKLAHOMA, PRIOR TO THE START OF CONSTRUCTION.
  - DURING ALL SOIL DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL MAINTAIN ALL SLOPES AND EXPOSED SOIL SURFACES COVERED WITH MULCH OR OTHER EROSION CONTROL MEASURES AS SHOWN ON ANY OTHER EROSION CONTROL PLAN AS NECESSARY TO STOP ANY SEDIMENT FROM ENTERING ADJACENT WATERWAYS.
  - FOLLOWING THE COMPLETION OF THE CONSTRUCTION ALL DISTURBED SOIL SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL MAINTAIN ALL SLOPES AND EXPOSED SOIL SURFACES COVERED WITH MULCH OR OTHER EROSION CONTROL MEASURES AS SHOWN ON ANY OTHER EROSION CONTROL PLAN AS NECESSARY TO STOP ANY SEDIMENT FROM ENTERING ADJACENT WATERWAYS.
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  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL EROSION CONTROL MEASURES DAMAGED DUE TO CONSTRUCTION.
  - THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND/OR LAWS PERTAINING TO EROSION CONTROL AS THEY APPLY TO THE PROJECT AND ANY OTHER APPLICABLE LAWS.
  - A COPY OF THE EROSION CONTROL PLAN MUST BE ON THE SITE AT ALL TIMES AND AVAILABLE TO THE INSPECTOR UPON REQUEST.
  - 1/2\"/>

LEGEND

	TEMPORARY FENCING AND STAKES
	EROSION CONTROL MEASURE
	EROSION CONTROL MEASURE
	EROSION CONTROL MEASURE
	EROSION CONTROL MEASURE

NOTES:  
 EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL EROSION CONTROL MEASURES DAMAGED DUE TO CONSTRUCTION.  
 A COPY OF THE EROSION CONTROL PLAN MUST BE ON THE SITE AT ALL TIMES AND AVAILABLE TO THE INSPECTOR UPON REQUEST.

# STORM WATER MANAGEMENT EROSION AND SEDIMENT CONTROL NOTES

## GENERAL NOTES

The following are requirements to be followed by the Contractor during all phases of the project. Please note that this construction will be accomplished under the provisions of the National Pollutant Discharge Elimination System (NPDES) of the U.S. Environmental Protection Agency (EPA). A Storm Water Pollution Prevention Plan (SWP3) must be prepared for this project in conformance with EPA regulations (Code of Federal Regulations (CFR) 40, Part 122) and Oklahoma Department of Environmental Quality (ODEQ) General Permit (OKR-10). The Contractor will be responsible for compliance with the OPDES permit and the SWP3, as well as with all provisions of the plans and specifications. It will also be the Contractor's responsibility to prevent soil or sediment loss from the construction site. The Contractor shall not leave the site until all erosion control, sediment control, and storm water management practices are in place; have been inspected and found satisfactory; and all temporary practices have been properly removed.

## STORM WATER MANAGEMENT

The project must be designed to provide positive post-construction control of storm water runoff from the site using gutters, curbs, inlets, piping, and outlets to the receiving stream. The erosion and sediment control measures discussed below will also provide some temporary storm water controls. During the course of construction, the contractor will install and maintain storm water controls in the sequence specified herein to provide comprehensive management of storm water for a project of this nature.

## EROSION AND SEDIMENT CONTROL

The project must be designed to minimize adverse off-site effects of soil erosion and resulting sediment loss through the use of proper construction techniques; and by installing both temporary and permanent management practices. All soil-disturbing activities performed by the Contractor will be accomplished in such manner as to prevent loss of sediment from the construction site during rainfall events. To accomplish this, the following specific steps will be taken during construction:

- 1 Immediately after mobilization but prior to initiation any soil-disturbing activities, the Contractor will install all specified perimeter controls on the site. These practices have been designed to trap all sediment produced during soil-disturbing activities, and to prevent off-site damage. It is recognized that some site preparation may be required to properly install these practices.
- 2 The recommended sequence for the installation and removal of erosion and sediment control measures is as follows:  
perimeter control measures (silt barriers and fencing) installed at designated areas; cleaning of street during construction; site grading (including temporary slope stabilization) as needed; installation of utilities; building construction; paving; final grading; installation of sod or vegetative materials; building construction; paving; final grading; installation of sod or vegetative materials; removal of temporary practices and perimeter controls; and site cleanup.
- 3 During all soil-disturbing activities, the Contractor will take appropriate steps using accepted construction methods to minimize exposure of unprotected soil and other construction materials to rainfall. Particular care must be exercised when dealing with topsoil stockpiles, fill material, or soil on slopes. The Contractor will maintain a date log of all soil disturbance activities or major grading operations, and of all management practice or control measure installations.

- 4 If, during the course of construction, any area of soil (including stockpiles) remains exposed for more than fourteen calendar days without suitable erosion control, then temporary stabilization measures should be installed unless soil-disturbing activities are planned on such areas within an additional seven calendar days. Suitable temporary stabilization measures are perimeter controls and silt barriers (such as rock bags, sand bags, and silt fencing) along all side-slope and down-slope borders of the disturbed area. Note that perimeter controls alone may not be successful; movement of large amounts of sediment produced by heavy rain on exposed soil could overwhelm such measures.
- 5 At the Contractor's discretion, additional temporary erosion control practices (such as rock bags, sand bag barriers, and silt fences) may be installed along any down-slope of side-slope perimeter of a soil-disturbed area to prevent sediment movement. Anchored erosion control matting, mulches, or other acceptable methods may also be installed to stabilize any unprotected slopes during construction, and hold them to the appropriate grade.  
  
As site conditions warrant, the Contractor may also choose to modify the type or arrangement of specified practices to improve their effectiveness. As with any other project changes, the Contractor must present all proposed modifications to the Project Engineer for approval prior to installation.
- 6 The Contractor will inspect all specified practices at least once every fourteen calendar days, and after all rainfall events to insure that each specified practice remains intact. Any damage noted during such inspections shall be repaired promptly to restore the practice to original specifications. The Contractor will be responsible for maintenance of all erosion and sediment control practices as specified in the plans, including periodic regrading, and final grading after removal of all such practices.
- 7 When water is used for dust control or to promote vegetation, the Contractor will prevent the escape of this water and any sediment it may carry from the construction site.
- 8 Care must be exercised to prevent excessive off-site tracking of mud or sediment by construction vehicles. In addition to the specified gravel entrances, properly graded transition areas should be established at all temporary site exits to assist in mud removal from departing vehicles. The Contractor shall be responsible for cleaning the street daily, or as directed by the City, when mud is tracked onto the street from the construction site.
- 9 During the site cleanup prior to the possession date, each temporary practice will be completely removed and the area finished to the appropriate post-project condition. This involves final grading, and installation of sod or grass seed on all bare soil areas. A minimum vegetation density of seventy percent, or an equivalent sediment stabilization measure (geotextiles, mulches, or gabions), is required until vegetation is established.





APPROVED BY  
CITY ENGINEER P.E.  
TERRANCE P. [unclear]  
DATE 01-28-13

DRAWN  
VSC

DATE 01-28-13

### STANDARD STORM SEWER INLETS DESIGN 2 INLET WITH CAST STEEL HOODS

Drawing Number  
D-101

**CAST IRON INLET NUMBER**

#	# INLET	TYPE B GRATE	#2 INLET
2-0	2	2	2
2-1	2	2	2
2-2	2	2	2
2-3	2	2	2
2-4	2	2	2

**BRICK OPTION IN PLACE OF CONCRETE**  
HOLD INSIDE DIMENSION GIVEN FOR CONCRETE  
8" P.C. CONCRETE FLOOR & BRICK WALLS

MIN. QUANTITIES RE	D.	2-0	2-1	2-2	2-3	2-4
BRICK (172 JOINTS)	445	725	995	1250	1485	
1:2 MORTAR C.Y.	0.32	0.53	0.72	0.95	1.09	
3500 CONCRETE C.Y.	0.4	0.60	0.90	1.09	1.20	

**GENERAL NOTES**

CASTING SHALL CONFORM TO THE S.T.M. SPECIFICATIONS FOR CAST IRON CASTINGS. SERIAL DESIGNATION 4-48-29.

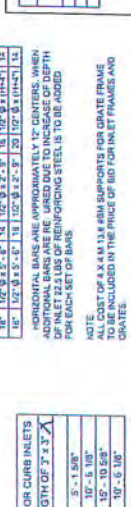
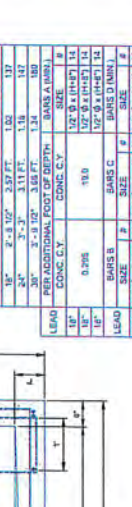
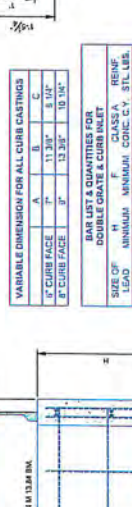
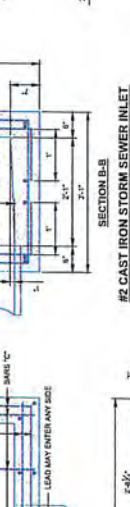
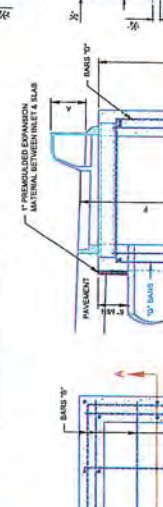
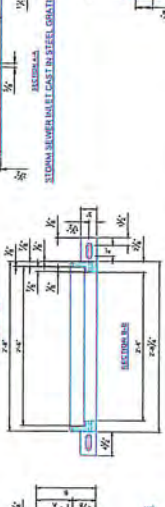
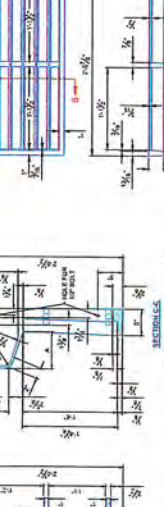
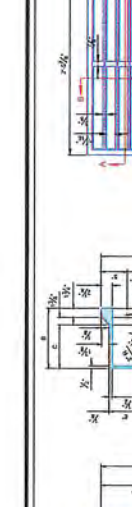
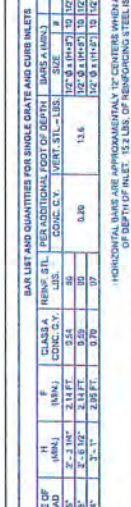
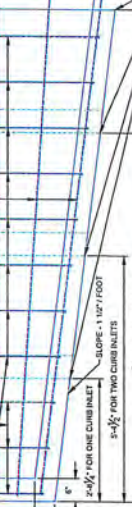
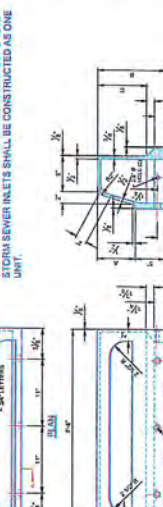
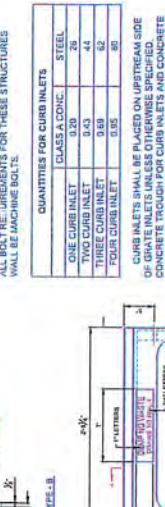
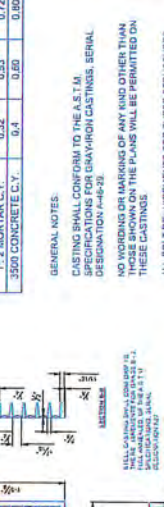
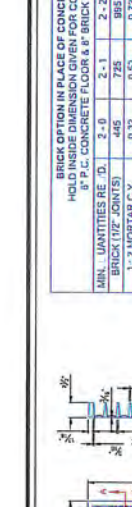
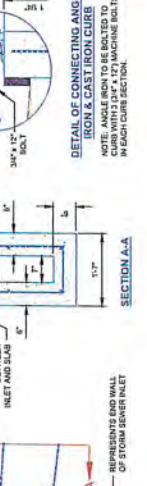
NO WELDING OR HARDENING OF ANY KIND OTHER THAN THOSE SHOWN ON THE PLANS WILL BE PERMITTED ON THESE CASTINGS.

ALL BOLT REPAIRMENTS FOR THESE STRUCTURES WILL BE MACHINE BOLTS.

**QUANTITIES FOR CURB INLETS**

ONE CURB INLET	CLASS A CONC.	STEEL
TWO CURB INLET	0.50	40
THREE CURB INLET	0.65	52
FOUR CURB INLET	0.80	60

CURB INLETS SHALL BE PLACED ON UPRIGHT SIDE OF GRATE INLETS UNLESS OTHERWISE SPECIFIED. CONCRETE TROUGH FOR CURB INLETS AND CONCRETE STORM SEWER INLET IS TO BE CONSTRUCTED AS ONE UNIT.



**GENERAL NOTES**

CASTING SHALL CONFORM TO THE S.T.M. SPECIFICATIONS FOR CAST IRON CASTINGS. SERIAL DESIGNATION 4-48-29.

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**BAR LIST AND QUANTITIES FOR DOUBLE GRATE & CURB INLET**

SIZE OF INLET	CLASS A CONC. C.Y.	REINF. (BARS)
18"	2'-8.10"	2,577 FT.
24"	3'-3.11"	3,111 FT.
30"	3'-9.10"	3,603 FT.
36"	4'-3.10"	4,140 FT.
42"	4'-9.09"	4,628 FT.
48"	5'-3.08"	5,115 FT.
54"	5'-9.07"	5,602 FT.
60"	6'-3.06"	6,090 FT.

HORIZONTAL BARS ARE APPROXIMATELY 1/2" CENTERS, WHEN ADDITIONAL BARS ARE REQUIRED DUE TO INCREASE OF DEPTH FOR EACH SET OF BARS.

NOTE: ALL COST OF 6 X 6 M 4.8 M SUPPORTS FOR GRATE FRAME TO BE INCLUDED IN THE PRICE OF BID FOR INLET FRAMES AND CURB INLET.

**BAR LIST AND QUANTITIES FOR SINGLE GRATE AND CURB INLETS**

SIZE OF INLET	CLASS A CONC. C.Y.	REINF. (BARS)
18"	2'-8.10"	2,577 FT.
24"	3'-3.11"	3,111 FT.
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HORIZONTAL BARS ARE APPROXIMATELY 1/2" CENTERS, WHEN ADDITIONAL BARS ARE REQUIRED DUE TO INCREASE OF DEPTH FOR EACH SET OF BARS.

NOTE: ALL COST OF 6 X 6 M 4.8 M SUPPORTS FOR GRATE FRAME TO BE INCLUDED IN THE PRICE OF BID FOR INLET FRAMES AND CURB INLET.

**QUANTITIES OF ANGLE IRON FOR CURB INLETS**

INLET #	# PIECES	LENGTH OF 3" x 3"
2-0	1	5'-1.93"
2-1	1	10'-0.96"
2-2	1	10'-0.96"
2-3	1	10'-0.96"
2-4	1	10'-0.96"

**BAR LIST AND QUANTITIES FOR DOUBLE GRATE & CURB INLET**

SIZE OF INLET	CLASS A CONC. C.Y.	REINF. (BARS)
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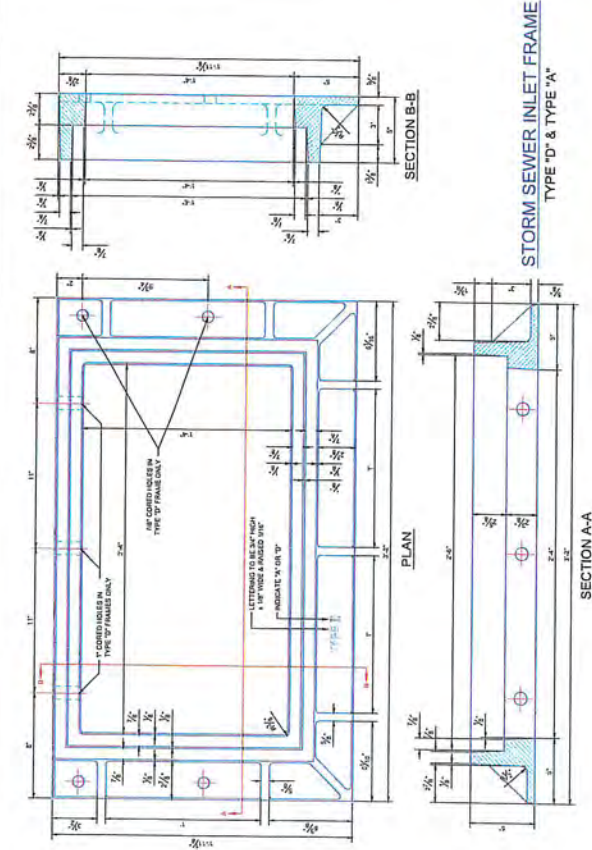
NOTE: ALL COST OF 6 X 6 M 4.8 M SUPPORTS FOR GRATE FRAME TO BE INCLUDED IN THE PRICE OF BID FOR INLET FRAMES AND CURB INLET.

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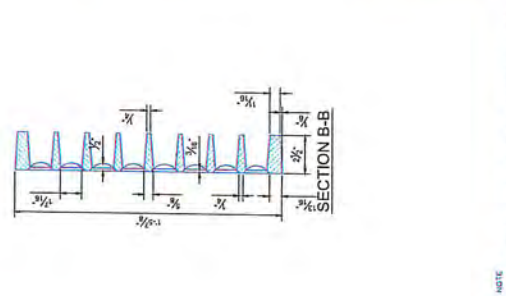
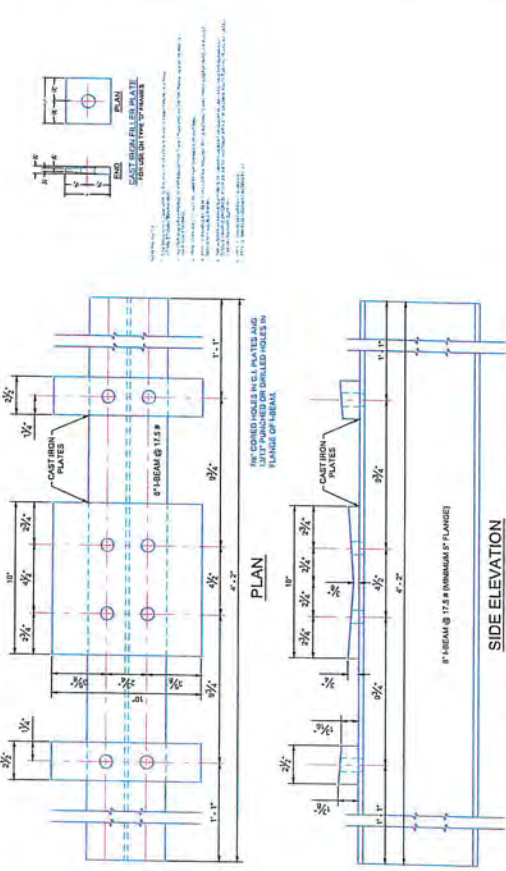
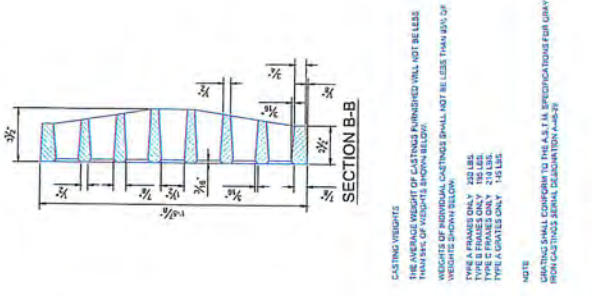
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NOTE: ALL COST OF 6 X 6 M 4.8 M SUPPORTS FOR GRATE FRAME TO BE INCLUDED IN THE PRICE OF BID FOR INLET FRAMES AND CURB INLET.



STORM SEWER INLET GRATING  
DETAIL OF TYPE "A" GRATING

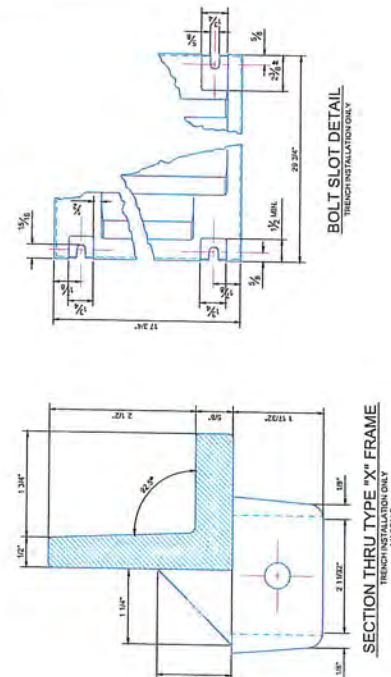
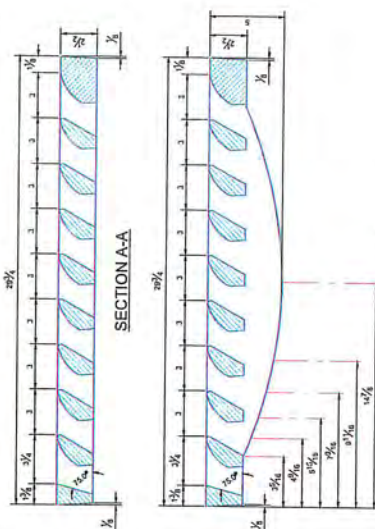
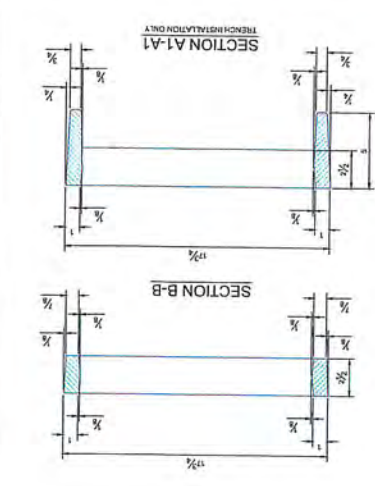
STORM SEWER INLET GRATING  
DETAIL OF TYPE "B" GRATING



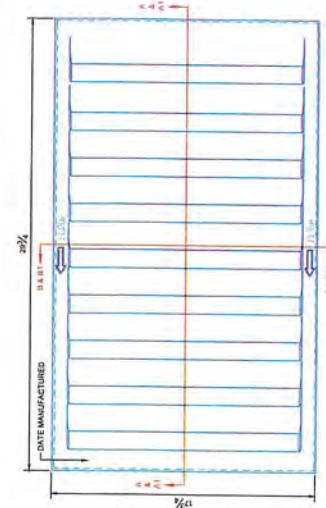
**NOTE**  
CASTINGS SHALL CONFORM TO THE A.S.T.M. SPECIFICATIONS FOR STEEL CASTINGS SERIAL DESIGNATION A27.2. CASTINGS SHALL BE CLASS "B" AND STEEL SHALL BE CLASS "A".



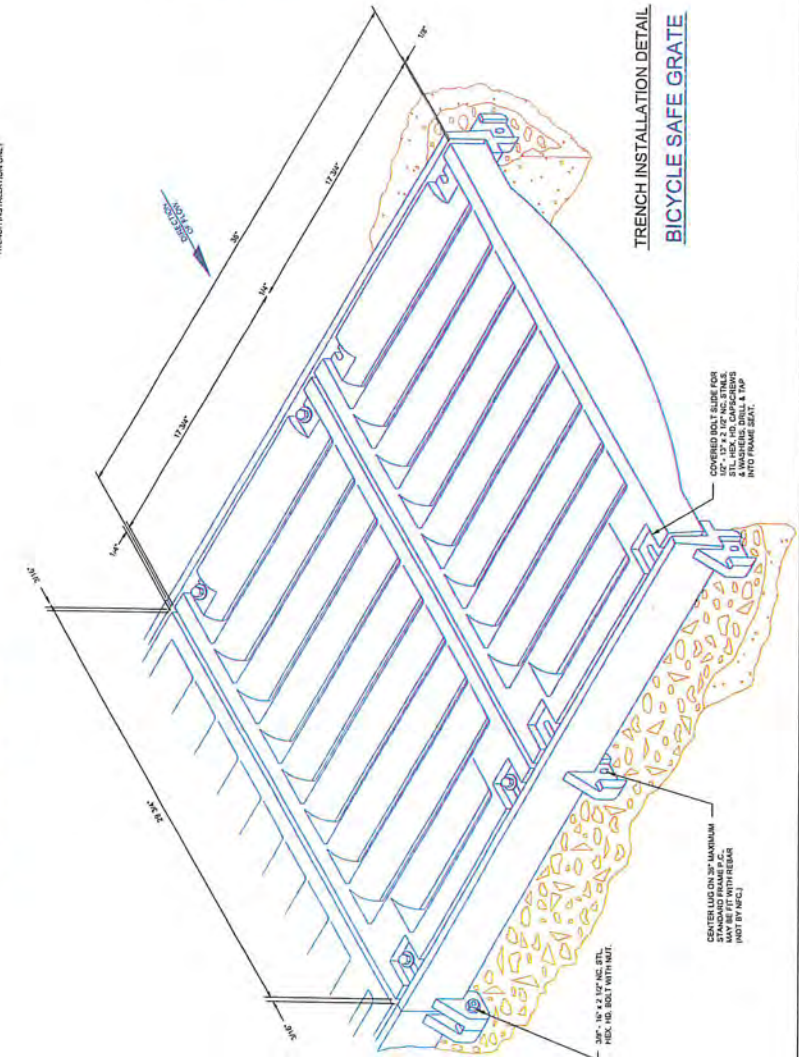
# BICYCLE SAFE GRATE



- NOTES**
1. ALL CONSTRUCTION METHODS & MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS.
  2. SHARP EDGES RESULTING FROM FABRICATION SHALL BE SMOOTHED BY ANY ACCEPTABLE METHOD FOR SAFETY IN HANDLING.
  3. GRATES SHALL BE INSTALLED IN FRAME WITH FLOW ARROW POINTING DOWNSTREAM TOWARD THE LOW POINT OF ROAD.
  4. GRATES SHALL BE MANUFACTURED TO THE SPECIFICATIONS OF ASTM A 661, GRADE 304, OR OF AN EQUAL OR BETTER QUALITY.
  5. FINISHES SHALL BE OF A QUALITY, FREE OF BURRS, PROTRUSIONS, HAZARDOUS SPHERICAL OBSTRUCTIONS OR OTHER DEFECTS.
  6. CASTINGS SHALL BE SMOOTH & WELL CLEANED BY OTHER APPROVED METHODS.
  7. ALL CASTINGS SHALL BE MANUFACTURED TRUE TO PATTERN COMPONENT PARTS SHALL FIT TOGETHER IN A SATISFACTORY MANNER.
  8. ALL LETTERING SHALL BE RECEIVED IN THE MANNER REFERENCED IN THE SPECIFICATIONS.



## BICYCLE SAFE GRATE

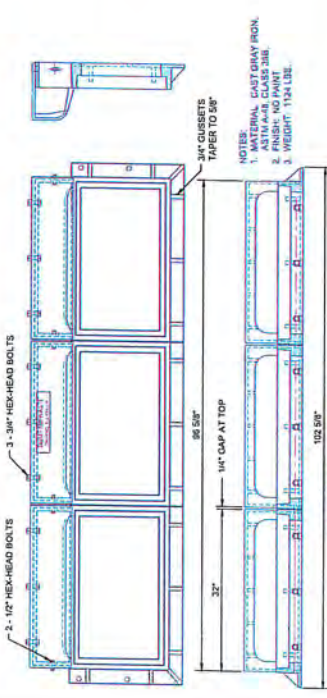
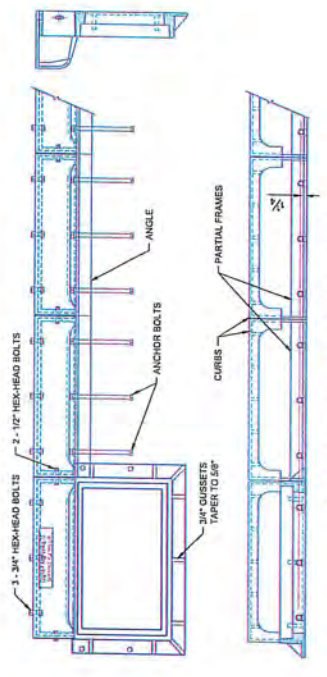
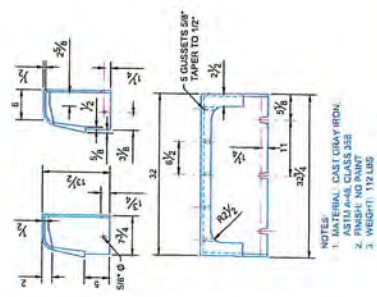
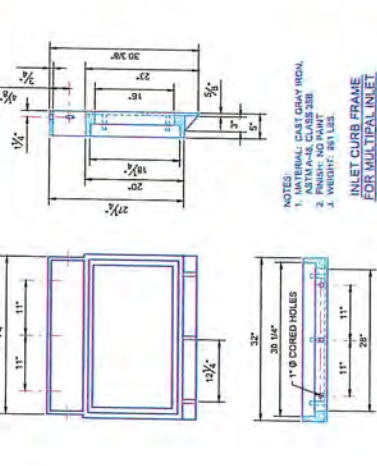
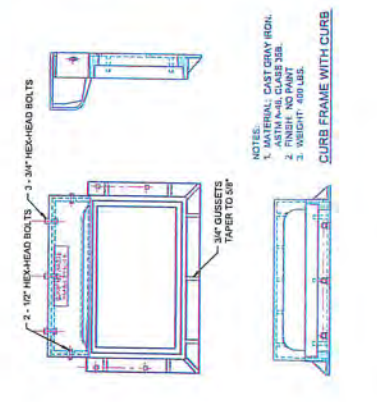
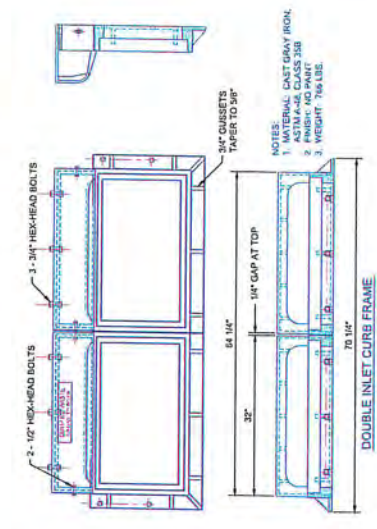
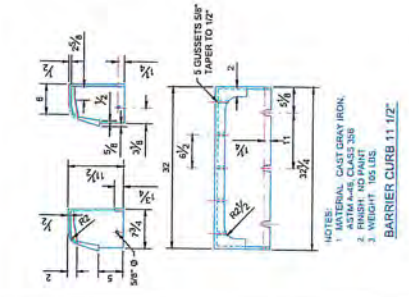
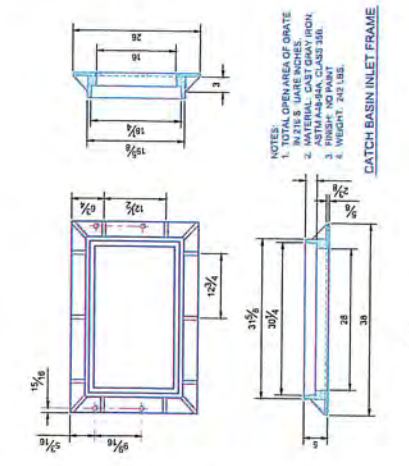
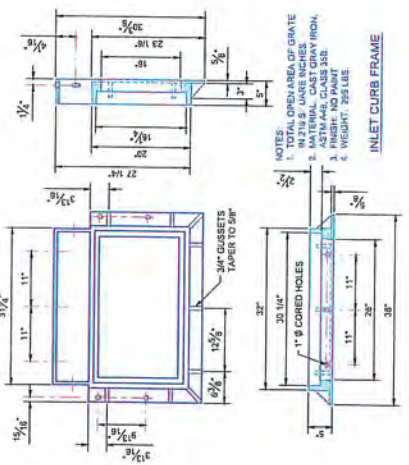
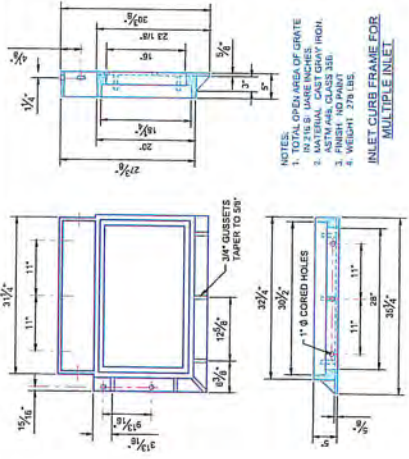




DATE	02-01-13
DRAWN	VSC
APPROVED BY	CITY ENGINEER
DATE	02-01-13

# CURB / CATCH BASIN INLET FRAME DETAILS

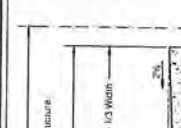
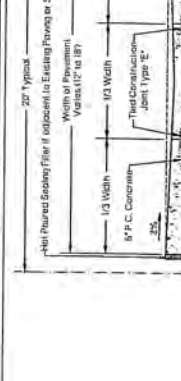
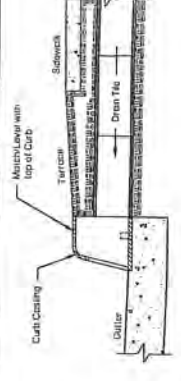
Drawing Number:  
0-109



**EXPLANATION OF DIMENSIONS**  
 TOP DIMENSION R-3262-3  
 BOTTOM DIMENSION R-3262-4



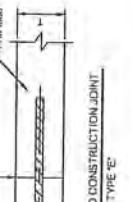
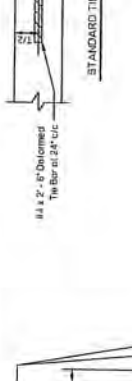
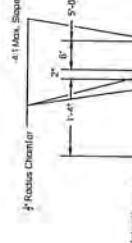
**STORM WATER CURB OPENINGS**  
 SEE NAYR-3262-3 & R-3262-4



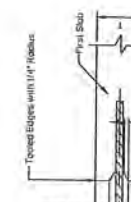
**TYPICAL SECTION P.C. CONCRETE ALLEY PAVING LOCAL RESIDENTIAL**  
 \* 230 \*

**TYPICAL SECTION P.C. CONCRETE ALLEY PAVING COMMERCIAL/INDUSTRIAL**  
 \* 231 \*

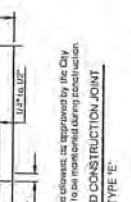
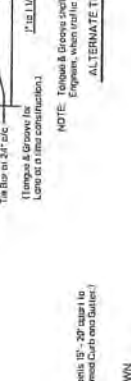
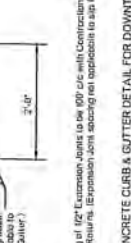
**STANDARD TIED CONSTRUCTION JOINT TYPE 2'**



**ALTERNATE TIED CONSTRUCTION JOINT TYPE 1E'**



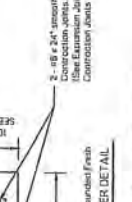
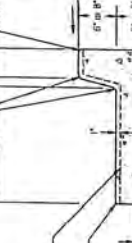
**CONCRETE CURB & GUTTER DETAIL FOR DOWNTOWN**



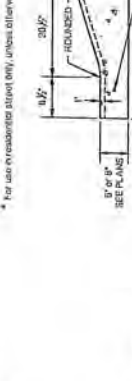
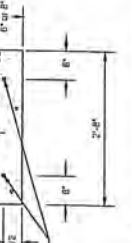
**SPECIAL MOUNTABLE CURB & GUTTER DETAIL (TYPE 3)**



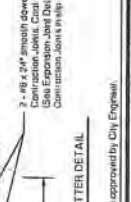
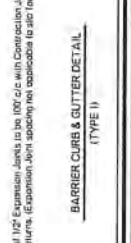
**BARRIER CURB & GUTTER DETAIL (TYPE 1)**



**MOUNTABLE CURB & GUTTER DETAIL (TYPE 2)**



**REBICON CURB DETAIL (TYPE 4)**



**P.C. CONCRETE PAVING SPECIAL DETAILS**

Detail Number D-380C





# LONGITUDINAL EXPANSION AND CONTRACTION JOINTS DETAILS

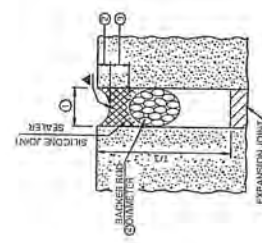
SEALANT WIDTH (INCHES)	SEALANT BEDS (INCHES)	SILICONE SEALANT JOINT THICKNESS (INCHES)	BACKER ROD DIAMETER (INCHES)
1/2"	1/2"	1/2"	3/8"
3/4"	3/4"	3/4"	1/2"
1"	1"	1"	5/8"
1 1/2"	1 1/2"	1 1/2"	3/4"
2"	2"	2"	1"
2 1/2"	2 1/2"	2 1/2"	1 1/4"
3"	3"	3"	1 1/2"

DETAILS FOR SEALED EXPANSION / ISOLATION JOINT

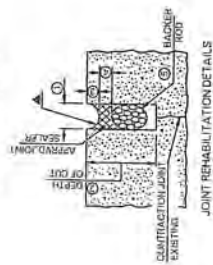
EXPANSION OR ISOLATION JOINT WIDTH SHALL BE 1/2" UNLESS OTHERWISE SPECIFIED IN THIS TABLE. SEALANT VALUES AS SHOWN IN THIS TABLE SHALL BE USED IN THOSE SITUATIONS.

**GENERAL NOTES**

1. ALL CONTRACTORS AND MATERIALS REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE DDC STANDARD AND THE DDC STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
2. ONLY SILICONE SEALANT MEETING REQUIREMENTS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL BE ACCEPTABLE FOR USE.
3. ALL JOINTS SHALL BE CLEANED IN ACCORDANCE WITH THE DDC STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. JOINTS SHALL BE CLEANED IN TWO PASSES, ONE FOR EACH FACE OF THE JOINT.
4. THE SHAVE FACTOR COMBINED WITH JOINT CLEANNESS IS THE CRITICAL DETERMINANT OF THE QUALITY OF SEALED JOINTS. NO TOLERANCE EXCEPT THOSE SHOWN HERE WILL BE ALLOWED.
5. THE JOINT SHAVE FACTOR IS DEFINED AS THE FINAL PRESSED SHAPE OF THE SILICONE MATERIAL. THE TOOL OPERATION WILL FINALLY PRESS THE PRESLEY BACKER ROD SURFACES. THE TOOL OPERATION WILL FINALLY PRESS THE PRESLEY BACKER ROD SURFACES. THE TOOL OPERATION WILL FINALLY PRESS THE PRESLEY BACKER ROD SURFACES. THE TOOL OPERATION WILL FINALLY PRESS THE PRESLEY BACKER ROD SURFACES.
6. IN ALL CASES, THE SEALANT SHALL BE APPLIED TO THE JOINT SURFACES AND THE SEALANT SHALL BE APPLIED TO THE JOINT SURFACES.
7. LONGITUDINAL JOINTS BETWEEN PAVEMENT AND TIED CONCRETE SHOULDERS SHALL BE SAWN OR SEALED UNLESS OTHERWISE SHOWN ON THE PLANS.
8. ON ALL SAWN JOINTS, THE KEEP DEPTH SHALL BE CLEAR DOWEL BARS. TE BARS SHALL BE 15'-0" CENTERS UNLESS OTHERWISE SPECIFIED ON THE PLANS.



SEALED EXPANSION JOINT

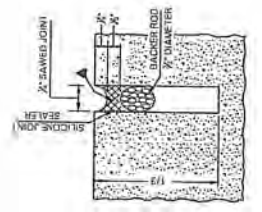


JOINT WIDTH (INCHES)	DEPTH OF CUT (INCHES)	SEALANT RECESS (INCHES)	SEALANT THICKNESS (INCHES)	BACKER ROD DIAMETER (INCHES)
1/2"	1/2"	1/2"	1/2"	3/8"
3/4"	3/4"	3/4"	3/4"	1/2"
1"	1"	1"	1"	5/8"
1 1/2"	1 1/2"	1 1/2"	1 1/2"	3/4"
2"	2"	2"	2"	1"
2 1/2"	2 1/2"	2 1/2"	2 1/2"	1 1/4"
3"	3"	3"	3"	1 1/2"

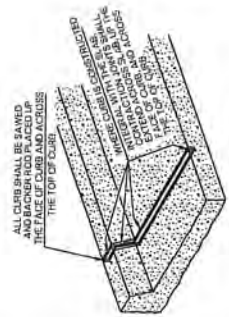
JOINT REHABILITATION - POLYMER SEALANT

JOINT WIDTH (INCHES)	DEPTH OF CUT (INCHES)	SEALANT RECESS (INCHES)	SEALANT THICKNESS (INCHES)	BACKER ROD DIAMETER (INCHES)
1/2"	1/2"	1/2"	1/2"	3/8"
3/4"	3/4"	3/4"	3/4"	1/2"
1"	1"	1"	1"	5/8"
1 1/2"	1 1/2"	1 1/2"	1 1/2"	3/4"
2"	2"	2"	2"	1"
2 1/2"	2 1/2"	2 1/2"	2 1/2"	1 1/4"
3"	3"	3"	3"	1 1/2"

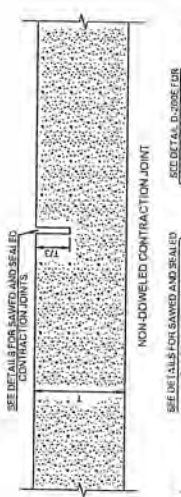
JOINT REHABILITATION - SILICONE SEALANT



ALTERNATE DETAILS SAWN AND SEALED CONTRACTION AND LONGITUDINAL JOINTS



CONTRACTION JOINT WITH INTEGRAL CURE



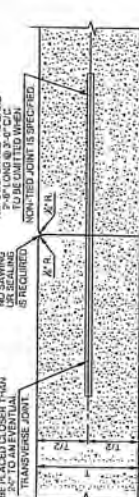
NON-DOWELLED CONTRACTION JOINT



DOWELLED CONTRACTION JOINT



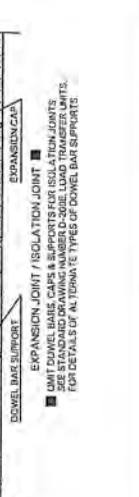
LONGITUDINAL JOINT



TIED BUTT JOINT



LONGITUDINAL CONSTRUCTION JOINT



EXPANSION JOINT / ISOLATION JOINT

SEE DETAILS FOR SAWN AND SEALED CONTRACTION JOINTS.  
SEE DETAILS FOR SEALED EXPANSION JOINTS.  
SEE DETAILS FOR SEALED CONTRACTION JOINTS.  
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SEE DETAILS FOR SEALED EXPANSION JOINTS.



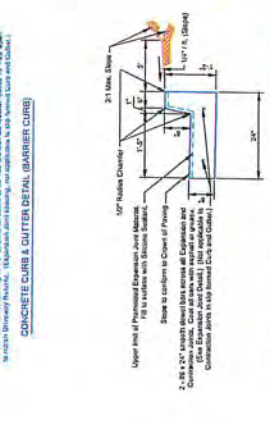
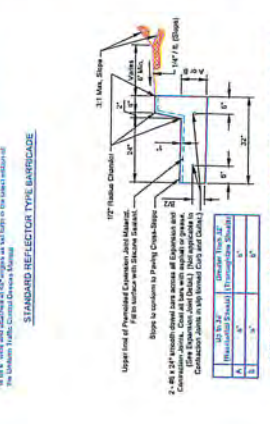
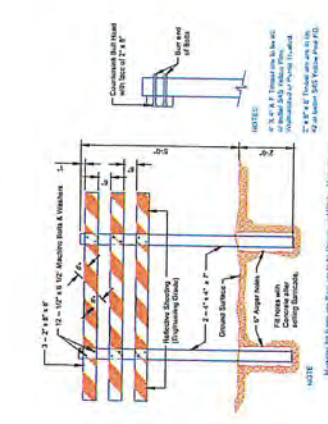




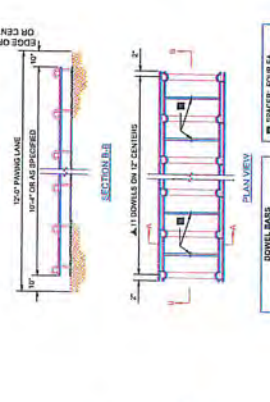
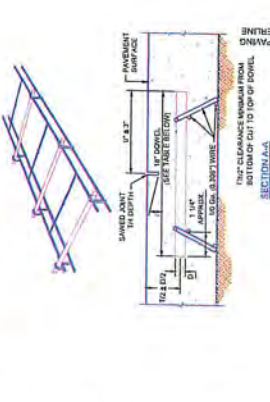
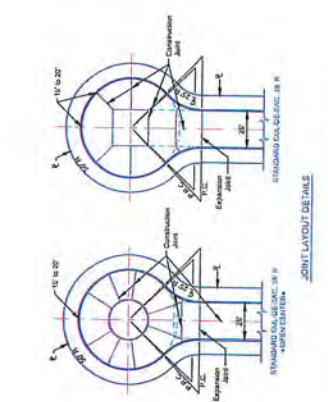
APPROVED BY: ERIC WISNER, P.E.  
ENGINEER  
DATE: 02/02/13  
03-21-17

# STANDARD TYPICAL SECTIONS

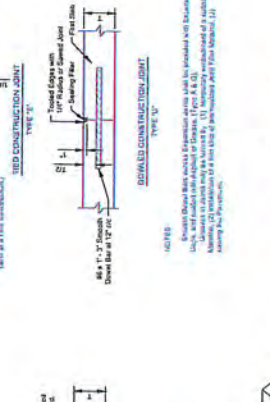
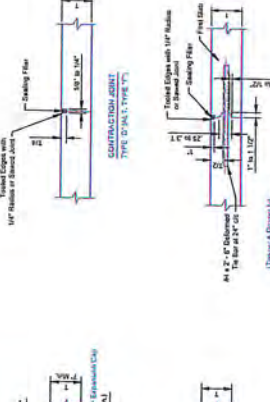
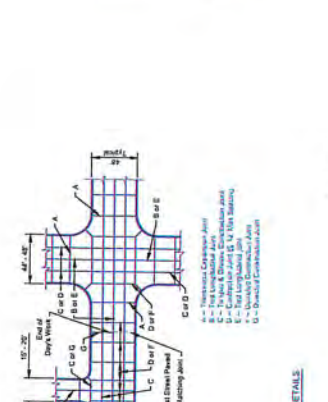
Drawing Number:  
D-300



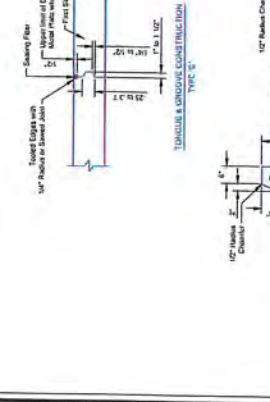
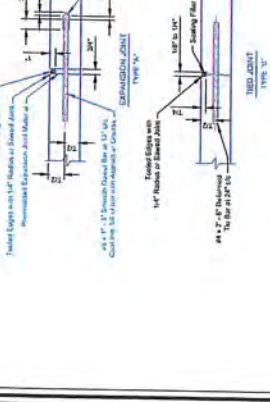
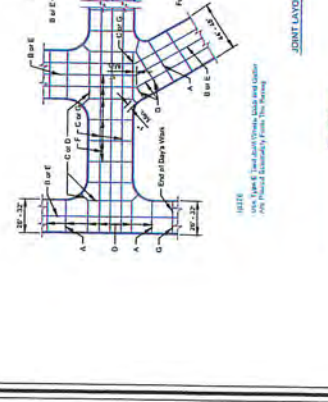
**NOTES:**  
1. Minimum thickness of 12" Precast concrete shall be 120 lbs with Compressive Strength 12,000 psi.  
2. Minimum thickness of 12" Precast concrete shall be 120 lbs with Compressive Strength 12,000 psi.  
3. Minimum thickness of 12" Precast concrete shall be 120 lbs with Compressive Strength 12,000 psi.



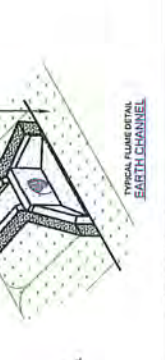
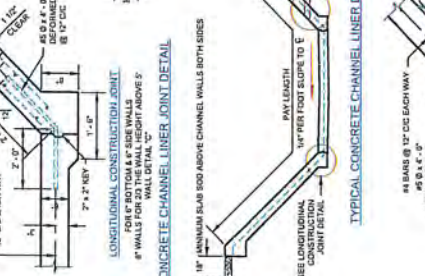
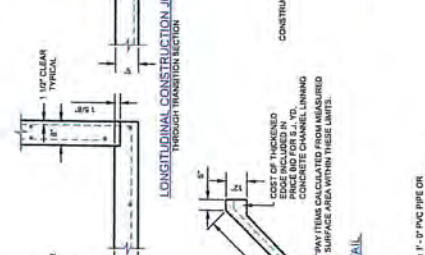
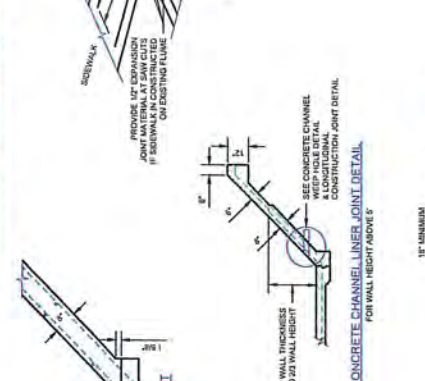
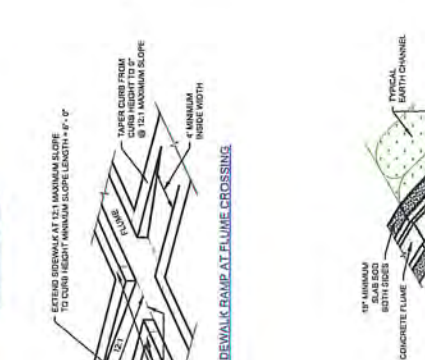
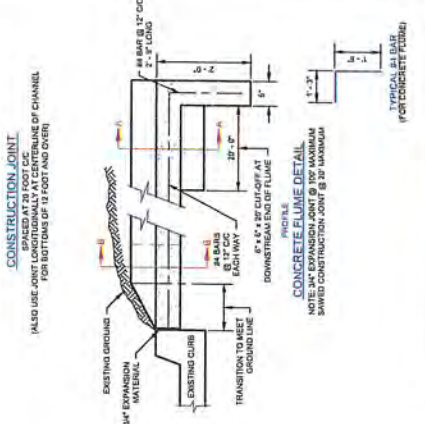
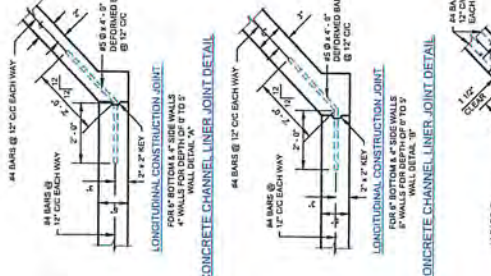
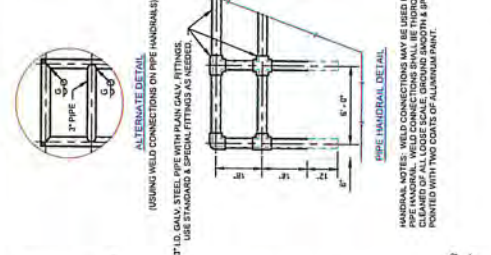
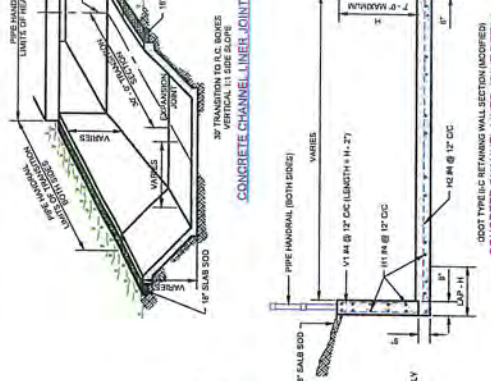
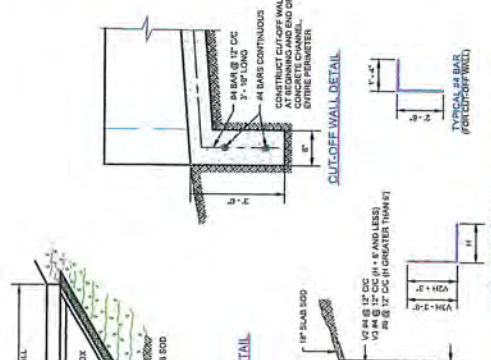
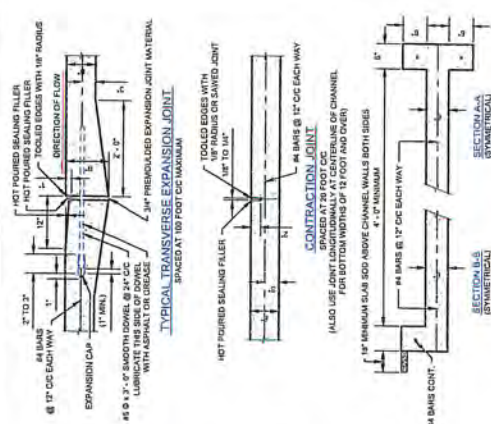
**NOTES:**  
1. Dowel bars shall be 1/2" diameter and 12" long.  
2. Dowel bars shall be 1/2" diameter and 12" long.  
3. Dowel bars shall be 1/2" diameter and 12" long.



**NOTES:**  
1. Dowel bars shall be 1/2" diameter and 12" long.  
2. Dowel bars shall be 1/2" diameter and 12" long.  
3. Dowel bars shall be 1/2" diameter and 12" long.



**NOTES:**  
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3. Dowel bars shall be 1/2" diameter and 12" long.



DELAVAN CITY  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DIVISION

**STANDARD CHANNEL LINER & FLUME DETAILS**

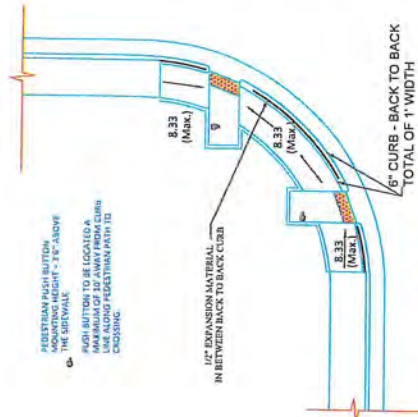
DATE: 2/20/07  
 U.S.C.:  
 SHEET: DWG. NO. D-5811  
 2007

SCALE: AS SHOWN  
 DATE: 2/20/07  
 U.S.C.:  
 SHEET: DWG. NO. D-5811

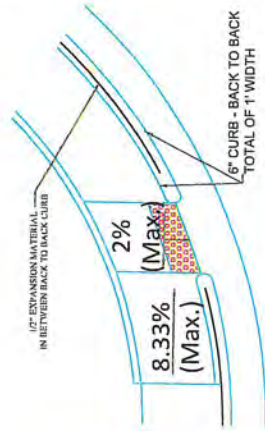


# ADA CURB RAMP DETAILS

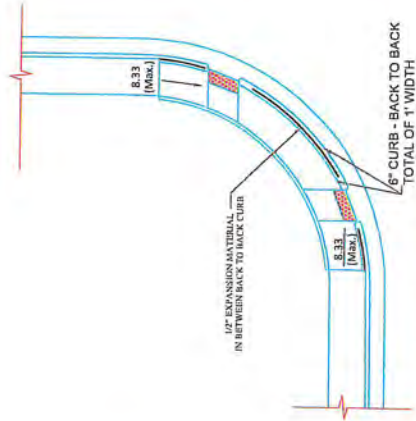
## ARTERIAL STREETS



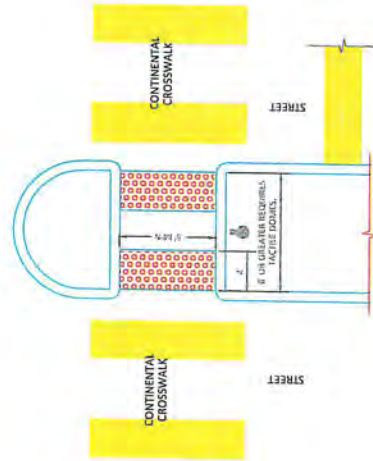
BACK OF CURB RAMP  
WITH PEDESTRIAN PUSH BUTTON  
TYPE "G"



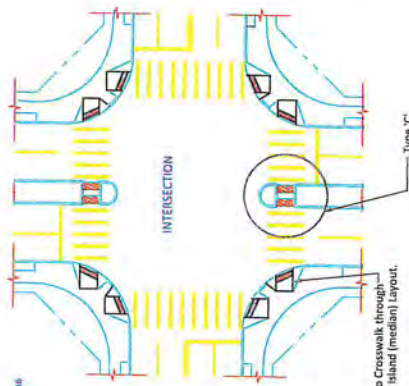
DETAIL OF  
TYPE "G"  
RAMP



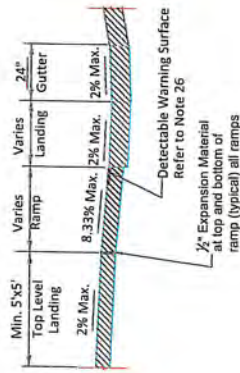
BACK OF CURB RAMP  
WITHOUT PEDESTRIAN PUSH BUTTON  
TYPE "G"



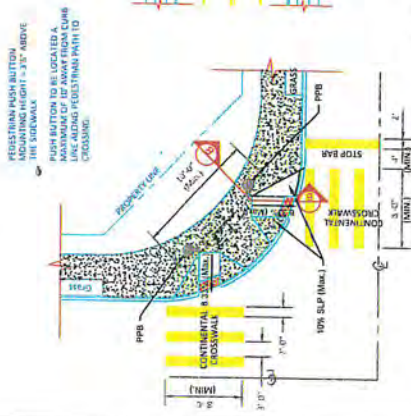
STANDARD CROSSWALK THROUGH  
MEDIAN LAYOUT  
TYPE "C"



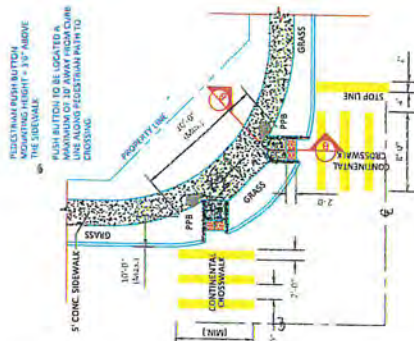
INTERSECTIONS WITH  
REFUGE ISLANDS LAYOUT



SECTION B-B



CURB RAMP  
TYPE "A"

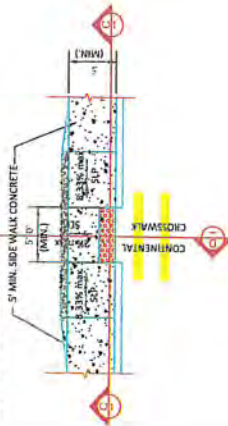


CURB RAMP  
TYPE "B"

See Detail 1 & Detail 2 (Sheet B)

Curb-ramp shall be used on narrow sidewalk or at mid-block locations when standard curb ramp lay-out is not feasible. The 6" curb shall be installed along the edge of the back of sidewalk.

PEDESTRIAN PUSH BUTTON MOUNTING HEIGHT = 3'6" ABOVE THE SIDEWALK  
 PUSH BUTTON TO BE LOCATED A MAXIMUM OF 10' AWAY FROM CURB LINE ALONG PEDESTRIAN PATH TO CROSSING.



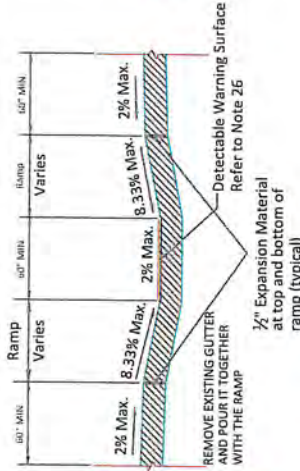
**PARALLEL CURB RAMP TYPE "D"**

PEDESTRIAN PUSH BUTTON MOUNTING HEIGHT = 3'6" ABOVE THE SIDEWALK  
 PUSH BUTTON TO BE LOCATED A MAXIMUM OF 10' AWAY FROM CURB LINE ALONG PEDESTRIAN PATH TO CROSSING.



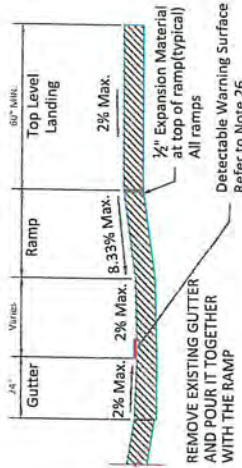
**RADIUS CURB RAMP TYPE "E"**

See Detail 3 for Isometric View  
 Vision approved by the City Engineer is required.



**SECTION C-C**

See Detail 2 for Isometric View



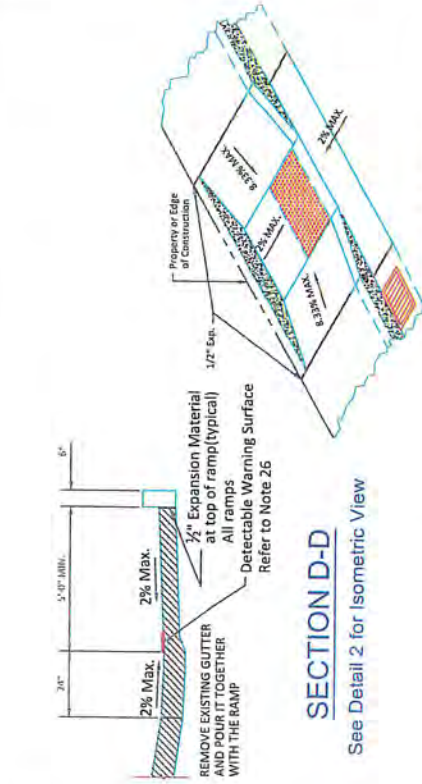
**SECTION G-G TYPE "E"**

See Detail 3 for Isometric View



**DETAIL 1**

Place Detectable Warning Surface on bottom landing if landing is more than 5' deep at any point.



**SECTION D-D**

See Detail 2 for Isometric View

**DETAIL 2 TYPE D**

Isometric

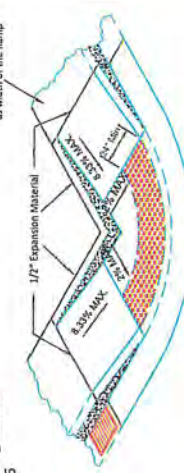


**SECTION E-E TYPE "E"**

See Detail 3 for Isometric View

**DETAIL 3 TYPE E**

Isometric



Place Detectable Warning Surface on the bottom if both levels of grade break are less than 5' from back of curb





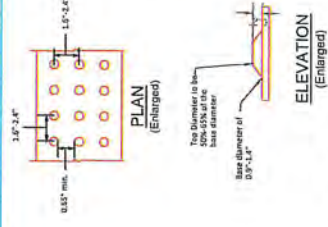
Omit tactile domes on Commercial Driveways

**ARTERIAL / MINOR STREET RAMPS  
(OR COMMERCIAL DRIVES)**

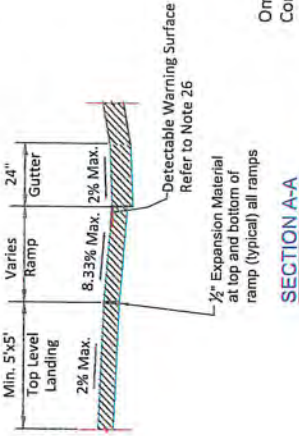
**DETAIL 1**

**Detectable Warning Surface Specifications:**

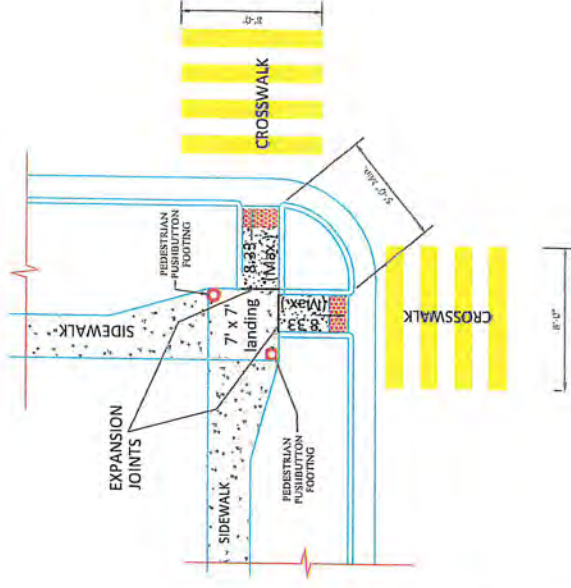
- Must provide a Visual Contrast.
- Raised Tactile surfaces used for way finding.
- Detectable Warning Surface shall be installed in a manner such that the domes are parallel to the direction of pedestrian travel.
- Install the Detectable Warning Surface beginning at back of curb.



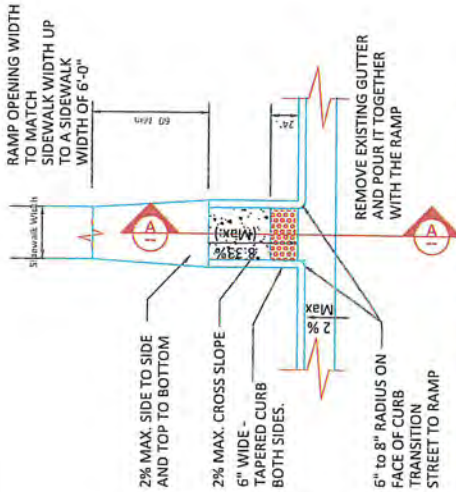
**DETECTABLE WARNING SURFACE  
PATTERN LAYOUT**



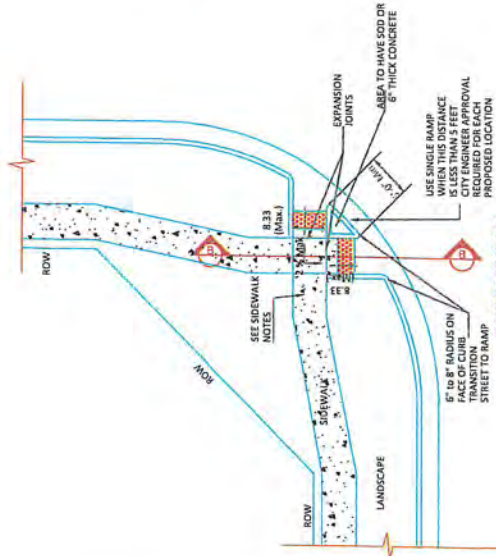
**SECTION A-A**



**SHARED LANDING  
AT SIGNALIZED INTERSECTIONS**



**METHOD OF TRANSITIONING A RAMP  
WITH DIE OUT CURBS**



**RESIDENTIAL  
CURB RAMP  
TYPE 'F'**



DATE	6/22/2023
DESIGNED BY	[Signature]
CITY ENGINEER	[Signature]
DRYIN	
VSG	

ADA CURB RAMP DETAILS

Drawing Number  
D-700

**Curb Ramp Notes:**

- A curb ramp is defined as the entire concrete surface which includes the ramp and flared sides. The minimum 4' wide center portion, including the Detectable Warning Surface, shall have a sloped plane of 8.33% (1:12) maximum, and cross slope, not to exceed 2%. The "flared side" of the ramp shall lie on a slope of 10% (1:10) maximum measured along the curb. The curb ramp shall have a surface tolerance of  $\frac{1}{4}$ " per 10 foot straight edge maximum.
- The ramp center line and path of travel should be parallel to the sidewalk whenever possible. The full width of the ramp shall lie within the crosswalk area. It is desirable that the location of the ramp be as close as possible to the center of the crosswalk.
- Curb Ramps shall not exceed 15' in length unless otherwise directed by the City Engineer.
- Existing utility boxes and covers shall be adjusted flush with the curb ramp surface and shall not straddle any change in plane or material. Existing utility box frames and covers shall have matching surface finish on the entire frame and cover. New utility boxes shall not be placed within the accessible pathway.
- The surface of the curb ramp and Detectable Warning Surface material shall be stable, firm and slip resistant. The concrete curb ramp surface shall be medium broom finished transverse to the axis of the ramp and shall be slightly rougher than the finish of the adjacent sidewalk surface.
- A level landing 5'-0" deep, with a 2% maximum slope in each direction shall be provided at the upper end of each curb ramp to allow safe egress from the ramp surfaces. The width of the level landing shall be at least as wide as the width of the ramp. A clear space of a minimum of 30" wide x 48" deep shall be provided at pedestrian push buttons at signalized crossings. This space may be contained in the landing.
- Existing vertical utility poles or street light poles may be incorporated into the flared sides, if necessary. The vertical obstruction shall be a minimum of 6" away from edge of the ramp. Pedestrian crosswalks push button poles, fire department call boxes and other poles with activated devices, may not be placed in the curb-ramp at any time. No new vertical obstructions may be located in the curb ramp or the accessible pathway.
- Ramp opening shall be the same width as the sidewalk up to 6'-0" wide.
- Curb Ramp shall be constructed with 8" thick concrete at collector and arterial streets; and with 6" thick concrete at residential streets. All on top of 2" of 1.5" crusher run,  $\frac{1}{2}$ " rock screenings, 1.5" recycled concrete or approved equal. The 6" thick concrete will extend the maximum length of 6' from the face of curb and the 8" thick concrete will extend the maximum length of 8' from the face of curb. The remainder of the ramp will be constructed of 4" thick concrete and paid as sidewalk. All landings and incidental connections will be paid as sidewalk and will be constructed of 4" thick concrete. A 6" concrete curb will be constructed on each side of the ramp where 1:10 concrete slopes are not used.
- For new construction all Detectable Warning Surfaces are to be set in concrete. Surface applied domes require special written approval by the City Engineer.
- Curb ramp pay items shall only be used at street intersections, signalized driveways or alleys with tactile domes.
- Where feasible, ramps shall align in such a way that the pedestrian travel path shall provide a direct path to corresponding ramp. Ramps that require pedestrians to change direction of travel in the street or driveway shall require City Engineer approval.
- Where a ramp lies into an existing curb and gutter, the entire curb and gutter shall be removed and replaced extending 2 feet past the width of the ramp on each side.

**Sidewalk Notes:**

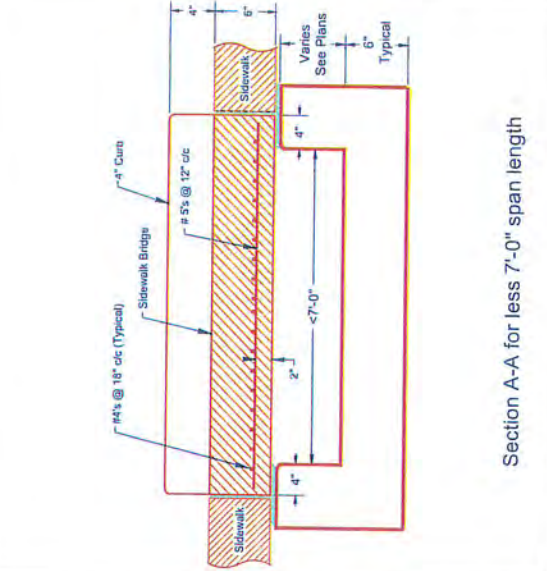
- All work must meet current Americans with Disabilities Act (ADA) requirements.
- Minimum sidewalk width shall be as follows: residential, 5'-0" at curb, 4'-0" at property line; commercial, 6'-0" at curb, 5'-0" at property line.
- Sidewalk cross slope shall be a maximum of 2% and a minimum of 1/2% cross slope.
- Whenever the width of the sidewalk is less than 5'-0", a 5' x 5' passing area with a maximum 2% slope and minimum 1/2% slope in any direction at intervals of 20' shall be installed.
- Whenever changing direction in a sidewalk, install a 5' x 5' passing area with maximum 2% slope and minimum 1/2% slope in any direction.
- Objects such as tree branches, signs, water fountains, etc. shall not protrude into the sidewalk more than 4" at the heights between 27" and 80".
- Sidewalk shall be constructed of 4" thick concrete with medium broom finish on top of 2" of 1.5" crusher run,  $\frac{1}{2}$ " rock screenings, 1.5" clean recycled concrete or approved equal. Developers of Residential Neighborhoods are allowed the usage of 2" of sand instead of the required crusher run.
- All obstructions into the walk, such as power poles, hydrants, sign posts, etc. must have at least 48" of clear travel space around the obstruction.
- Sidewalk running grade shall not exceed 5% unless the sidewalk is contained in the R-O-W and then cannot exceed the general grade established for the adjacent street.

**General Notes:**

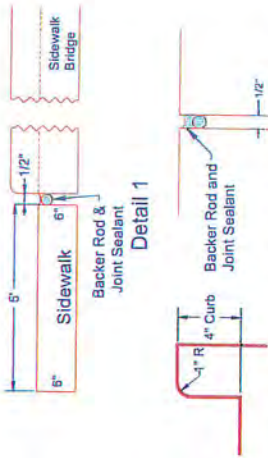
- Any deviation from the standard curb-ramp plans shall be approved by the City Engineer or his designee on a case by case basis.
- The standard curb-ramp drawings supersede all previous drawings and shall be a part of the new curb ramp standard drawings.
- All alternate ramps shall be approved by the City Engineer or his designee prior to construction.
- Seal all sawed joints on sidewalks, landings and ramps. Width of expansion joint shall be  $\frac{1}{2}$ ".

**Pedestrian Signals Notes:**

- Push button must be located adjacent to and accessible from a landing.
- A clear space of 30" x 48" minimum dimension must be next to the push button.
- Maximum reach to a push button can not exceed 10".

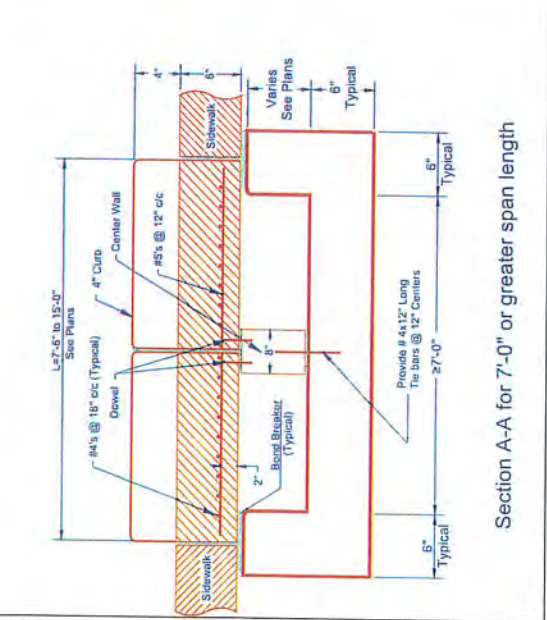


Section A-A for less 7'-0" span length

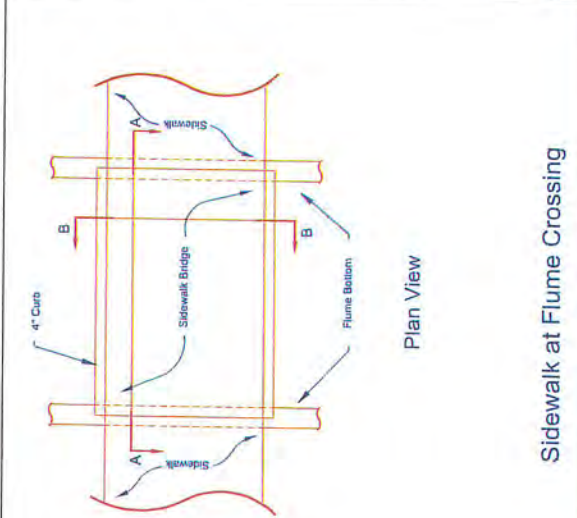


Detail 1  
Detail 2

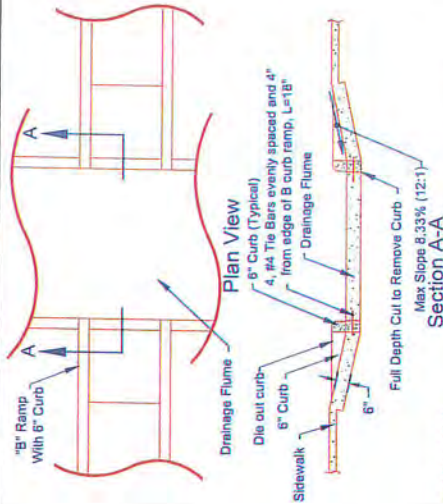
- Sidewalk Bridge Notes:**
1. The width of the sidewalk bridge must be at least as wide as the adjacent sidewalk.
  2. # 5 bars must extend to within 1 1/2" of the end forms.
  3. Flume crossing with sidewalk bridges having a walking path greater than 5' wide require a separate design.
  4. Flume crossing with a dimension of 18" or greater from flume surface to the walkway surface will require pedestrian guardrail.
  5. 3/4" chamfer (typical) required on all exposed edges.



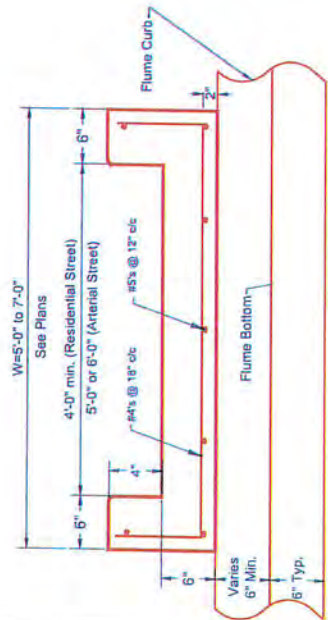
Section A-A for 7'-0" or greater span length



Sidewalk at Flume Crossing



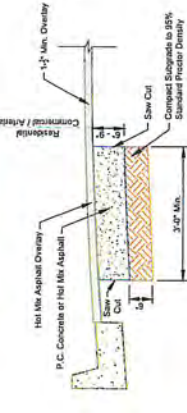
- RAMP NOTES:**
1. In most cases, to be constructed as shown above unless grade or other factors require the construction of a sidewalk bridge.
  2. If flume grade is more than 2%, then bottom of flume must be reconstructed so the longitudinal grade is 2% or less to meet ADA requirements for sidewalk cross slope. The transition on each side of sidewalk in bottom of flume must be at least 2' wide and a maximum grade equal to 2x the longitudinal flume grade.



Section B-B

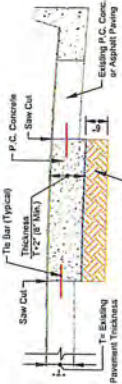
### ACTIVE RESURFACING PROJECTS PAVEMENT REPAIR DETAILS

NOT MIX ASPHALT (HMA) OVERLAY



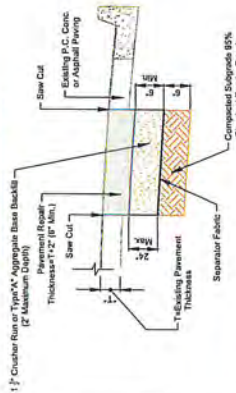
- NOTES:**
1. Removal shall include removal of finish or P.C. Concrete Pavement depending on existing conditions, saw cut should be included in patch.
  2. Hot Mix Asphalt shall meet timely specification.

### PAVEMENT REPAIR DETAILS



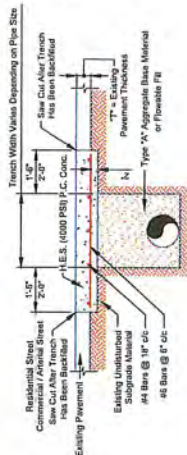
- NOTES:**
1. Remove existing concrete paving, to be included in price. Partial patch replacement not permitted. Saw cut should be included in price.
  2. Concrete shall be placed in patch and finished to match existing pavement condition to include on subgrade, backfill, and base, etc.
  3. The bars to be 1" dia. (dormant bars) (1 1/2" dia. for pavement 6" thick and greater).
  4. 18" height use spaced at 18" centers. Anchored with epoxy.
  5. Only one row and anchored with epoxy.
  6. Concrete shall be double sawed 5' apart to protect the pavement edge during curing.
  7. Use black colored concrete when repairing asphalt paving. Use Solignum Color's Color #930 and apply at 25 lbs per 2' CY of concrete.

### EXISTING ASPHALT OR CONCRETE BASE REPAIR DETAIL



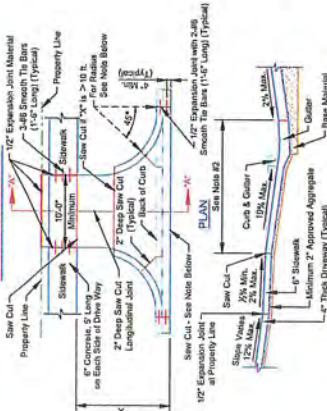
- NOTE:**
1. Excavation and aggregate base backfill begins at the bottom of the existing pavement and extends downward to a minimum depth of 2 feet.
  2. The concrete patch must be placed in the hole and finished to match existing pavement condition to include on subgrade, backfill, and base, etc.
  3. Backfill material shall be placed in the hole to accept the concrete (C) unit contract to 35% Standard Proctor Density.
  4. The aggregate base shall be placed in the hole to accept the concrete (C) unit contract to 35% Standard Proctor Density.
  5. Use black colored concrete when repairing asphalt paving. Use Solignum Color's Color #930 and apply at 25 lbs per 2' CY of concrete.

### UTILITY PAVEMENT CUT AND PERMANENT TRENCH REPAIR TYPICAL REPAIR SECTION FOR CITY STREET



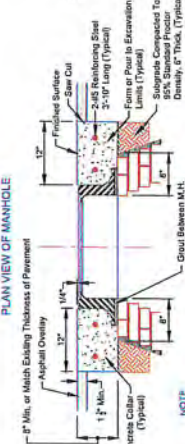
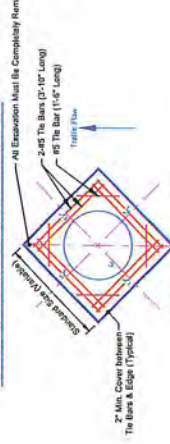
- NOTES:**
1. Aggregate base to be compacted 95% Standard Proctor Density in 6" lifts.
  2. The City Engineer may require a P.C. Concrete patch replacement depending on street location and functional classification.
  3. Thickness of repair shall be 7" - 2" steel shall be less than 10 inches.
  4. The cost of saw cut, removal, color and placement of compacted base (B) to be contract documents.
  5. Use black colored concrete when repairing asphalt paving. Use Solignum Color's Color #930 and apply at 25 lbs per 2' CY of concrete.

### DRIVEWAY DETAIL



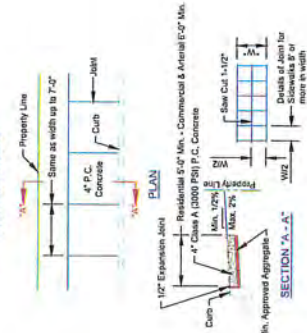
- NOTES:**
1. A 3" - 6" minimum shall be approved for one- and two-family residences not abutting a street.
  2. This Driveway Contractor shall saw cut and remove the complete Curb and Curb section. Saw cut shall be 2" or 1/2 the depth of the gutter, whichever is greater, include the top 1/2" of the gutter. The gutter shall be 1/2" deep for each curb, whichever is greater. All depth for removal and 2" of 1/2" to the depth for each curb, whichever is greater.
  3. It is gutter joints within 24 hours or 12 hours at temperature above 85°F.
  4. Use 1/2" x 2" precasted expansion joint between curb or driveway.
  5. Aluminum finish (transverse).
  6. Use sealer coat on all edges.
  7. Do not turn valves in front of adjacent property without permission (see adjacent).
  8. When opening a new sidewalk to be installed, the contractor shall be responsible for the construction of the driveway.
  9. Clean and seal all joints and saw cut in accordance with standard specifications.
  10. Do not turn valves in front of adjacent property without permission (see adjacent).
  11. Do not turn valves in front of adjacent property without permission (see adjacent).
  12. When opening a new sidewalk to be installed, the contractor shall be responsible for the construction of the driveway.
  13. It is gutter joints within 24 hours or 12 hours at temperature above 85°F.
  14. Use 1/2" x 2" precasted expansion joint between curb or driveway.
  15. Aluminum finish (transverse).
  16. Use sealer coat on all edges.

### ADJUSTMENT OF MANHOLE TO GRADE



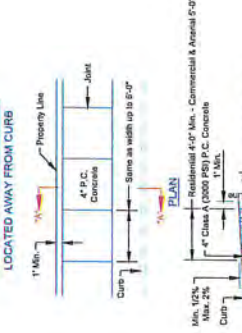
- NOTE:**
1. The manhole frame shall be set to grade and concrete collar placed after the manhole frame is in place. The concrete collar shall be placed in the manhole frame. The concrete collar shall be placed in the manhole frame. The concrete collar shall be placed in the manhole frame.
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### DETAILS FOR SIDEWALK LOCATED AT CURB



- NOTES:**
1. 1/2" x 4" precasted expansion joint around Power Poles for sidewalks.
  2. Expansion joints maximum distance = 10'; saw cut on concrete.
  3. Expansion joints maximum distance = 10'; saw cut on concrete.
  4. Saw cut joints within 24 hours or 12 hours at temperature above 85°F.
  5. Use 1/2" x 2" precasted expansion joint between curb or driveway.
  6. Aluminum finish (transverse).
  7. Use sealer coat on all edges.

### DETAILS FOR SIDEWALK LOCATED AWAY FROM CURB



- NOTES:**
1. Place 1/2" precasted expansion joint around Power Poles or other structures in walk, with at least 36" of clear travel space.
  2. Expansion joints maximum distance = 10'; saw cut on concrete.
  3. Transverse construction joints maximum distance = 8'; saw cut on concrete.
  4. 1/2" steps.
  5. Medium broom finish (transverse).
  6. Use sealer coat on all edges.



DATE	5-16-22
DESIGNED BY	TJM
CHECKED BY	ENG. J. WENGER, P.E.
APPROVED BY	DATE 6/22/2023

# CITY OF BETHANY PUBLIC WORKS AUTHORITY



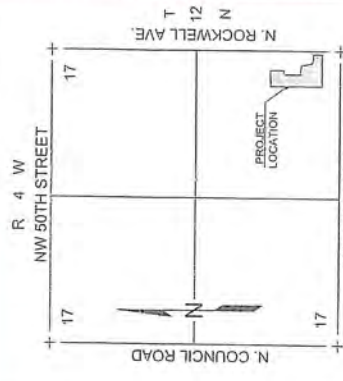
SANITARY SEWER PLANS  
FOR

## BETHANY FIELDS

A PART OF THE SE/4, SECTION 17, T12N, R4W, I.M.  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

### SUMMARY OF QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-QUANT
1	8" PVC SANITARY SEWER PIPE (SD-35)	LF	1820	
2	MANHOLE - COMPLETE 6' 0" DEEP	EA	11	
3	EXTRA DEPTH MANHOLE WALL	VF	13	
4	SOFTLE MANHOLE	EA	1	
5	1" ON 12" (BED)	EA	49	
6	4" ON 12" (BED)	EA	59	
7	4" ON 12" VOTE SADDLE	LF	322	
8	4" RISER PIPE	LF	30	
9	STEEL ENCASUREMENT FOR 8" MAN	LF	757	
10	8" 6" TRENCH	LF	708	
11	8" 6" TRENCH	LF	77	
12	CHAMFERED ROCK BUILDING	LF	77	
13	CHAMFERED ROCK BUILDING	LF	205	
14	TYPE 'A' AGGREGATE (UNDER ROADWAY)	CVY	14	
15	LEAKAGE TESTING	L.S.	1	
16	DEFLECTION TEST	L.S.	1	
17	MANHOLE TESTING	L.S.	1	
EROSION CONTROL QUANTITIES (BY DEVELOPER)				
1	TRAILER CONSTRUCTION GRASS	L.S.	1	
2	SILT FENCE	LF	1776	
3	18" SLAB SOOT ALONG CURBS, LANES, WALKWAYS & ELSIDE	LF	690	
4	18" SLAB SOOT FOR RETENTION POND & AREA INLET	LF	690	
5	ROCK BAG BARRIERS	EA	3	
6	CONCRETE WASH OUT	EA	1	



LOCATION MAP  
SCALE: 1" = 1000'

The City of  
**BETHANY, OKLAHOMA**  
ADMINISTRATIVE CITY MANAGER

DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: [Date]

SHEET INDEX

SHEET NO.	DESCRIPTION
001	GENERAL NOTES
002	GENERAL NOTES
003	GENERAL NOTES
004	GENERAL NOTES
005	GENERAL NOTES
006	GENERAL NOTES
007	GENERAL NOTES
008	GENERAL NOTES
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047	GENERAL NOTES
048	GENERAL NOTES
049	GENERAL NOTES
050	GENERAL NOTES

ONE CALL UTILITY LOCATION NUMBER  
810-5032  
1-800-522-6543

REVIEWED BY: [Signature]  
DATE: [Date]  
SCALE: [Scale]

STANDARD DETAILS

DESIGNER: [Name]  
CHECKER: [Name]  
DATE: [Date]

Crafton Tull  
ENGINEERS, ARCHITECTS & PLANNERS  
1201 WEST 10TH STREET  
TULSA, OKLAHOMA 74106  
PHONE: 918.438.4200  
FAX: 918.438.4201

OWNER'S CERTIFICATE AND DEDICATION

I, the undersigned, do hereby certify that I am the owner of and the only person... that the public has been notified of this dedication...

STATE OF OKLAHOMA } Polhem Partners, LLC
COUNTY OF OKLAHOMA }
Wesley Lane, Manager

Before me, the undersigned Notary Public, in and for said County and State on this day of February, 2017, the abovesigned person who executed the within and foregoing instrument...

LEGAL DESCRIPTION

A tract of land situated within Block 2, 3, 4, and 5 of ENERGY SQUARE, according to the plat filed of record in Book 16, Page 51 and being more particularly described as follows:
COMMENCING at the Northwest corner of said Lot 4; thence

LAND SURVEYOR'S CERTIFICATE

I, LEE ALLEN SHREVESS, do hereby certify that I am a PROFESSIONAL LAND SURVEYOR, and that I am duly licensed and qualified to perform the duties of a land surveyor...

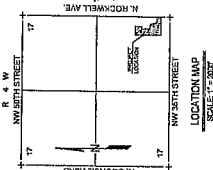
STATE OF OKLAHOMA }
COUNTY OF OKLAHOMA }
LEE ALLEN SHREVESS, PLS 1502

CITY PLANNING COMMISSION APPROVAL

I, the undersigned, do hereby certify that I am a member of the City of Bethany, Oklahoma, and that I have read and approved the within and foregoing instrument...

PLANNING DIRECTOR

FINAL PLAT OF BETHANY FIELDS
A PART OF THE SE/4 OF SECTION 17, T12N, R4W, L1M,
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



BOUNDED ABSTRACTOR'S CERTIFICATE

I, the undersigned, do hereby certify that I am the owner of and the only person who has executed the within and foregoing instrument...

STATE OF OKLAHOMA }
COUNTY OF OKLAHOMA }
Wesley Lane, Manager

COUNTY TREASURER'S CERTIFICATE

I, the undersigned, do hereby certify that I am the County Treasurer of Oklahoma County, Oklahoma, and that I have read and approved the within and foregoing instrument...

COUNTY TREASURER

ACCEPTANCE OF DEDICATION OF CITY COUNCIL

I, the undersigned, do hereby certify that I am a member of the City Council of the City of Bethany, Oklahoma, and that I have read and approved the within and foregoing instrument...

CITY CLERK

CERTIFICATE OF CITY CLERK

I, the undersigned, do hereby certify that I am the City Clerk of the City of Bethany, Oklahoma, and that I have read and approved the within and foregoing instrument...

CITY CLERK

NOTE

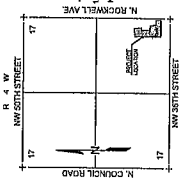
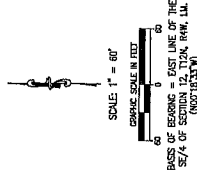
- 1. This plat of survey meets the Oklahoma Uniform Standards for the Practice of Land Surveying...
2. Approval of this plat by the City of Bethany is subject to the approval of the Oklahoma State Auditor...
3. Maintenance of the Common Area and Building/Structure in Public Right-of-Way shall be the responsibility of the Property Owners and/or Property Owners Association...

Notary seals for Bethany, Oklahoma, including Notary Public, Surveyor, and various professional seals.

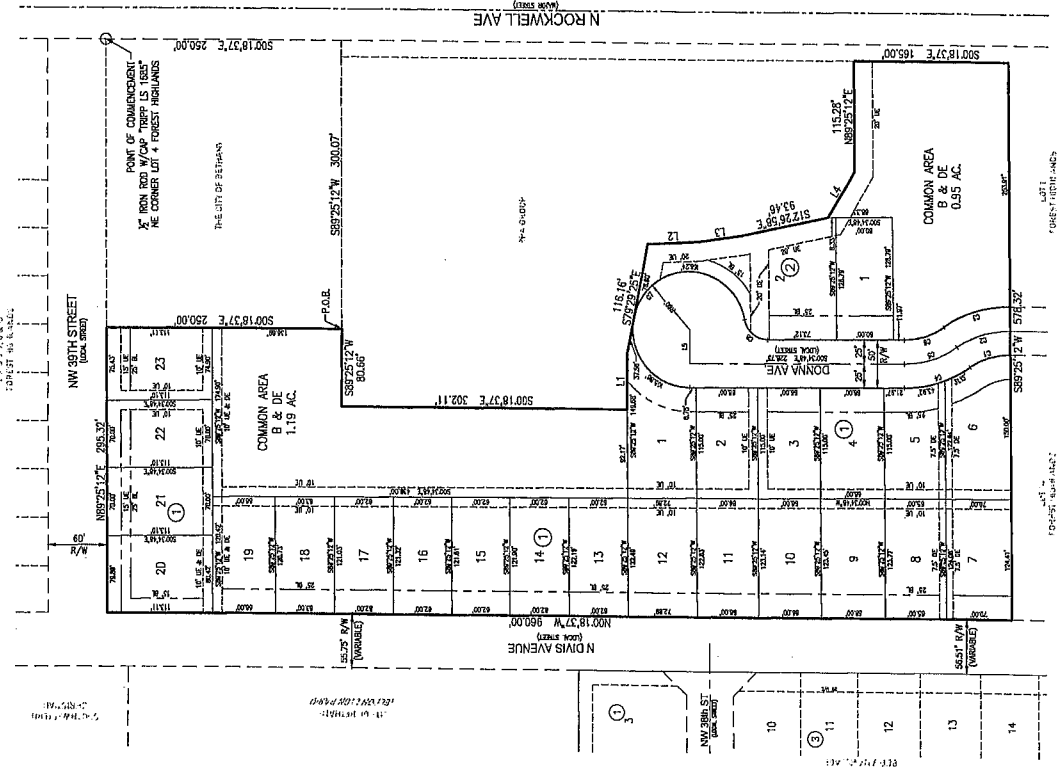
Crafton Tull logo and contact information: 3030 W. Oklahoma Ave., Suite 100, Oklahoma City, OK 73109. Phone: (405) 771-5771. Fax: (405) 771-5772. Website: www.craftontull.com.

SHEET NO: 1 OF 2
DATE: 02/29/17
PROJECT NO: 25617100

FINAL PLAT  
OF  
**BETHANY FIELDS**  
A PART OF THE SE/4 OF SECTION 17, T12N, R4W, L1M,  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



BASIS OF BEARING = EAST LINE OF THE  
SE/4 OF SECTION 12, T12N, R4W, L1M,  
(N00°18'33"W)



- LEGEND**
- POINT OF BEGINNING
  - CONVEYING
  - BOUNDARY
  - BOUNDARY WAY
  - BUILDING LIMIT LINE
  - UTILITY EASEMENT
  - DIE
  - PRIVATE DRAINAGE EASEMENT
  - ROUNDOFF LINE
  - (N)

**LINE TABLE**

LINE #	LENGTH	DIRECTION
1	115.28'	S115°28'00"W
2	93.46'	S172°08'59"E
3	20.00'	S00°00'00"E
4	20.00'	S00°00'00"E
5	20.00'	S00°00'00"E
6	20.00'	S00°00'00"E
7	20.00'	S00°00'00"E
8	20.00'	S00°00'00"E
9	20.00'	S00°00'00"E
10	20.00'	S00°00'00"E
11	20.00'	S00°00'00"E
12	20.00'	S00°00'00"E
13	20.00'	S00°00'00"E
14	20.00'	S00°00'00"E

**CURVE TABLE**

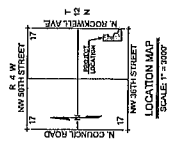
CURVE #	LENGTH	POSS. BESSA	CURVATURE	CURVE DIRECTION	CHORD LENGTH
1	115.28'	2500'	0.00447	S115°28'00"W	115.28'
2	93.46'	1000'	0.00907	S172°08'59"E	93.46'
3	20.00'	1000'	0.00907	S00°00'00"E	20.00'
4	20.00'	1000'	0.00907	S00°00'00"E	20.00'
5	20.00'	1000'	0.00907	S00°00'00"E	20.00'
6	20.00'	1000'	0.00907	S00°00'00"E	20.00'
7	20.00'	1000'	0.00907	S00°00'00"E	20.00'
8	20.00'	1000'	0.00907	S00°00'00"E	20.00'
9	20.00'	1000'	0.00907	S00°00'00"E	20.00'
10	20.00'	1000'	0.00907	S00°00'00"E	20.00'
11	20.00'	1000'	0.00907	S00°00'00"E	20.00'
12	20.00'	1000'	0.00907	S00°00'00"E	20.00'
13	20.00'	1000'	0.00907	S00°00'00"E	20.00'
14	20.00'	1000'	0.00907	S00°00'00"E	20.00'

- NOTES**
- This plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying and is subject to the provisions of the Oklahoma Statutes, Title 10, Sections 10-101 through 10-109, and the Oklahoma State Statutes.
  - Measurements shall be in feet and inches, rounded to the nearest 1/32 of an inch. All measurements shall be in feet and inches, rounded to the nearest 1/32 of an inch. All measurements shall be in feet and inches, rounded to the nearest 1/32 of an inch.
  - Notwithstanding to the Owners here and their Heirs, Successors, Assigns, and Assignees, the responsibility of the Property Owners and/or Property Owners Association, to determine, arrange for, and pay for the installation, maintenance, and repair of any utility lines, easements, or other structures, shall be the responsibility of the Property Owners and/or Property Owners Association. No structures, arrangements, or other structures, shall be installed, maintained, or repaired on the property without the approval of the City of Bethany, Oklahoma. The City of Bethany, Oklahoma, shall not be responsible for the installation, maintenance, and repair of any utility lines, easements, or other structures, shall be the responsibility of the Property Owners and/or Property Owners Association.

**Crafton Tull**  
SURVEYORS  
234 West Oklahoma Street  
Tulsa, Oklahoma 74101  
405.763.0000  
www.craftontull.com

FINAL PLAT  
BETHANY FIELDS  
SHEET NO. 2 OF 2  
DATE: 07/26/23  
PROJECT NO.: 25612100





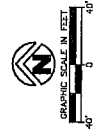
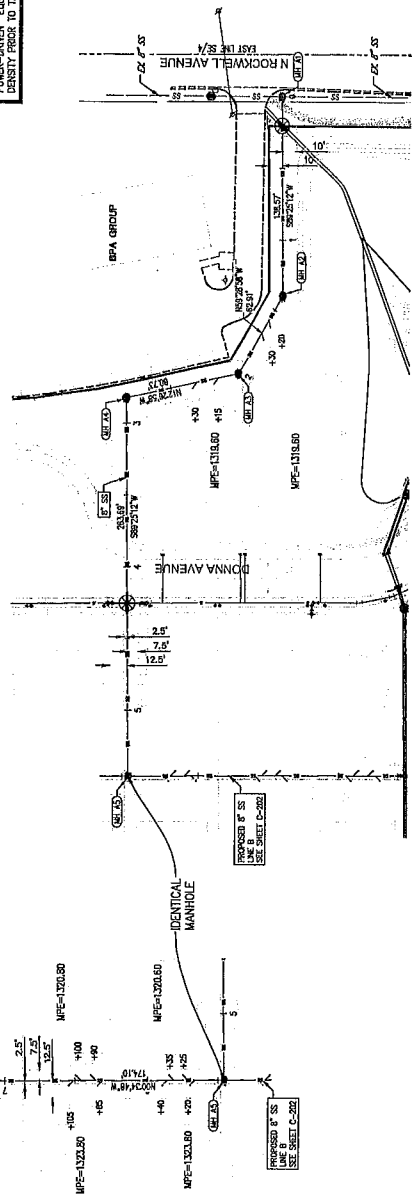
BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA

PROJECT NO.	
DATE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	
TITLE	

ISSUED FOR CONSTRUCTION  
 SANITARY SEWER LINE A

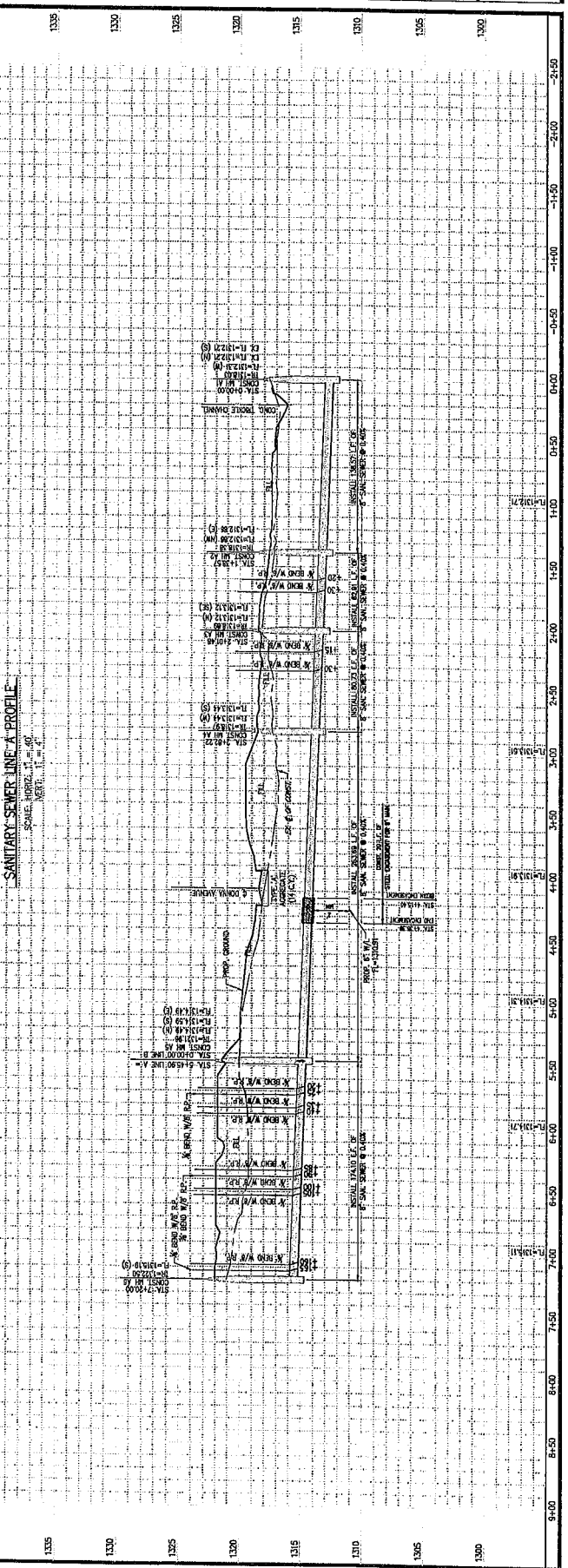
C-201

NOTE:  
 WHERE FILL MATERIAL IS INDICATED SUCH MATERIAL SHALL BE PLACED AND COMPACTED IN SIX (6) INCH LIFTS FOR EACH FOOT OF DEPTH. THE OPERATOR SHALL USE A POWER-DRIVEN EQUIPMENT TO AVOID STANDARD PRODUCE DENSITY ERROR TO TRENCHING.

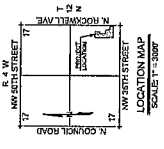


SANITARY SEWER LINE A PLAN

LEGEND  
 UTILITY CROSSING  
 SEE PROFILE  
 SANITARY SEWER LINE  
 PROPOSED  
 EX. & CONTRACT



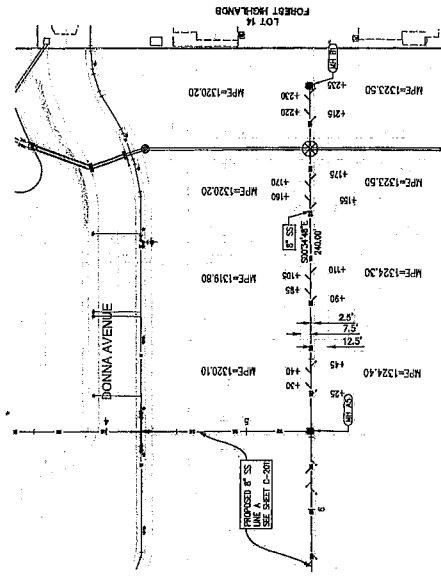
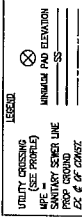
BETHANY FIELDS



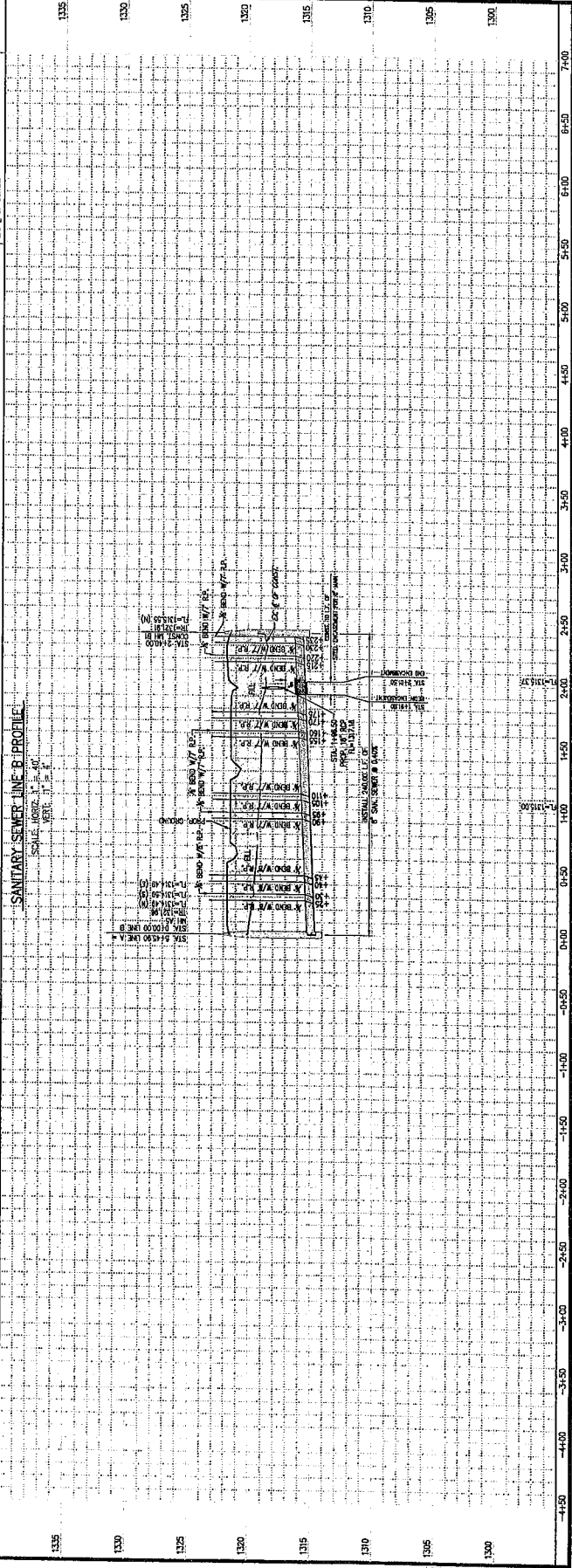
BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA

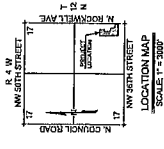
ISSUED FOR  
 CONSTRUCTION  
 SANITARY SEWER LINE B  
 C-202

NOTE:  
 WHERE ALL MATERIAL IS INDICATED SUCH MATERIAL SHALL BE PLACED AND COMPACTED IN SIX (6) INCH LIFTS FOR EACH FOOT OF DEPTH. ALL MATERIAL SHALL BE PLACED IN ONE (1) LIFT FOR POWER-DRIVEN EQUIPMENT TO BE STANDARD PRACTICE DENSITY PRIOR TO TRENCHING.



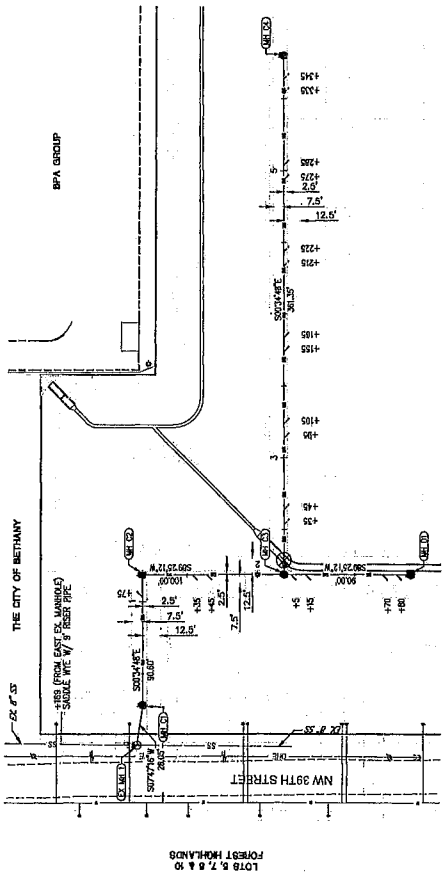
SANITARY SEWER LINE B PLAN





BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA

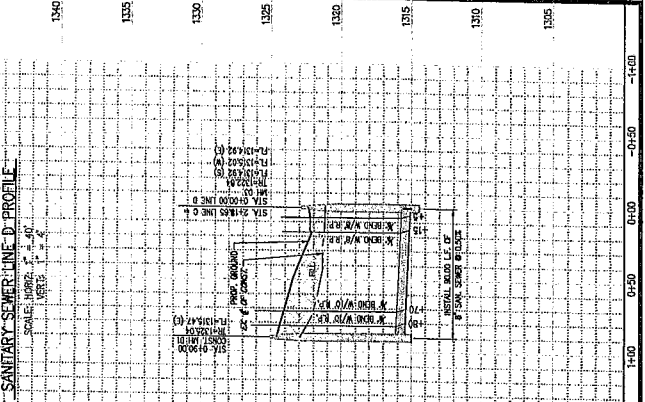
NOTE  
 WHERE FILL MATERIAL IS INDICATED SUCH MATERIAL SHALL BE PLACED AND COMPACTED IN SIX (6) INCH LIFTS FOR SAND-PAVED EQUIPMENT AND THIRTY (30) INCH LIFTS FOR GRAVEL EQUIPMENT TO 95% STANDARD PROCTOR DENSITY PRIOR TO TRENCHING.



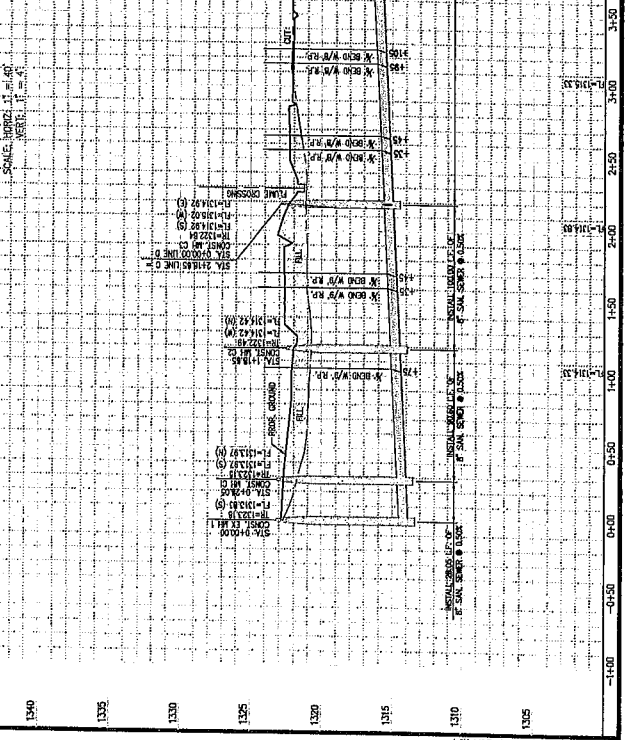
SANITARY SEWER LINE C & D PLAN

LEGEND  
 UTILITY CROSSING (SEE PROFILE)  
 SINK POND ELEVATION  
 SANITARY SEWER USE  
 PROP. GRADE  
 2% & 4% COAST

SANITARY SEWER LINE D PROFILE



SANITARY SEWER LINE C PROFILE



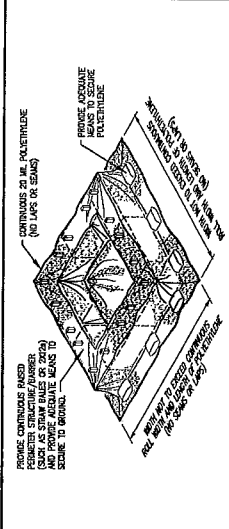
**Crafton Tull**  
 Crafton Tull Construction, Inc.  
 4215 N. ROCKWELL AVENUE  
 TUCSON, AZ 85714  
 www.craftontull.com

LOCATION MAP  
 SCALE: 1" = 500'

**BETHANY HELDS**  
 CITY OF BETHANY, OKLAHOMA

PROJECT INFORMATION	
PROJECT NUMBER	17-00000
PROJECT TITLE	NEW CONSTRUCTION
PROJECT LOCATION	SECTION 17, T10N, R14W, L14
OWNER	CITY OF BETHANY, OKLAHOMA
DESIGNER	USGS QUADRANGLE MAP NIS
DATE	08/2019
DRAWN BY	JWS
CHECKED BY	JWS
APPROVED BY	JWS
CITY OF BETHANY APPROVAL	
CITY ENGINEER	
DATE	

C-501



**CONCRETE WASH-OUT BASIN**  
 NIS

**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

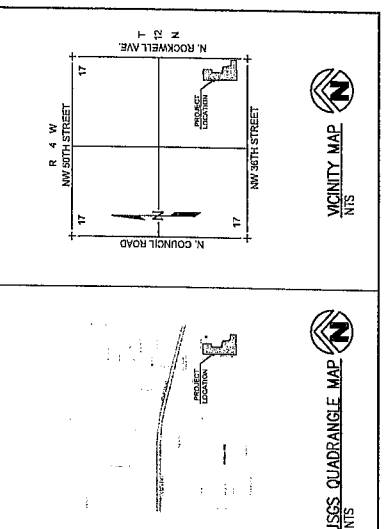
CONSTRUCTION SEQUENCE	START DATE (MM/DD/YYYY)	END DATE (MM/DD/YYYY)	COMPLETION (MM/DD/YYYY)
ROCK CURB / SEDIMENT CONTROL			
TEMPORARY EROSION CONTROL MEASURES			
STOP & STOCKPILE TOPSOIL			
TEMPORARY CONSTRUCTION BARRIERS			
FOUNDATION / BULKHEAD CONSTRUCTION			
BASE CONSTRUCTION			
FINISH GRADE			
LANDSCAPING/SEED/PLANT STABILIZATION			

**ACREAGE SUMMARY**

APPROXIMATE AREA	0.28
SECTED AREA	7.22
TOTAL DISTURBED	7.50

**DESIGNED BY:**  
 CRAFTON TULL  
 4215 N. ROCKWELL AVENUE  
 TUCSON, AZ 85714  
 TEL: (520) 298-0000  
 FAX: (520) 298-0001  
 EMAIL: info@craftontull.com

**SITE OPERATOR/GENERAL CONTRACTOR:**  
 BETHANY HELDS  
 1001 WEST 5TH STREET  
 TUCSON, AZ 85710



**PHASE 1 - GENERAL CONSTRUCTION OPERATIONS:**

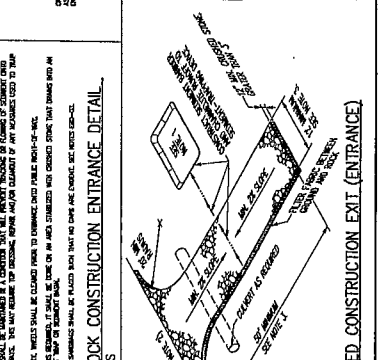
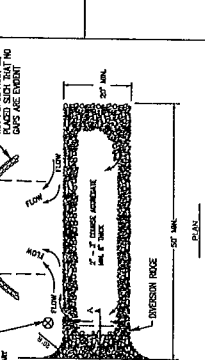
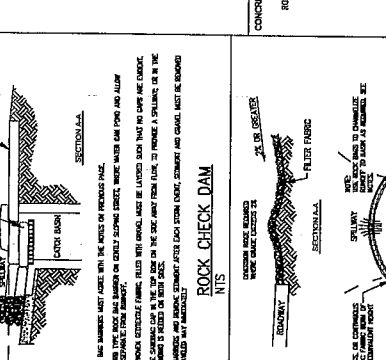
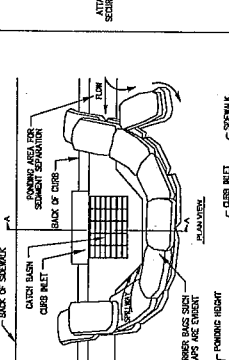
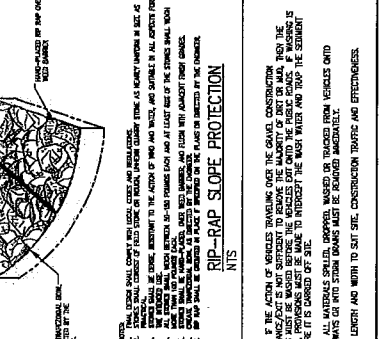
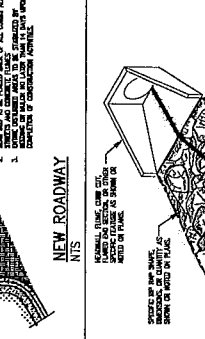
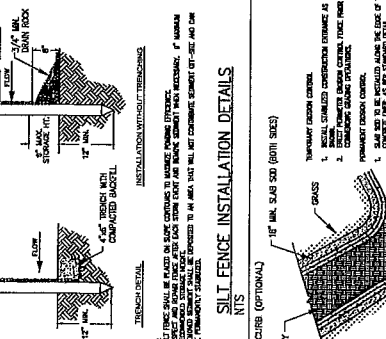
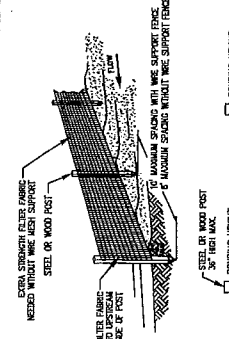
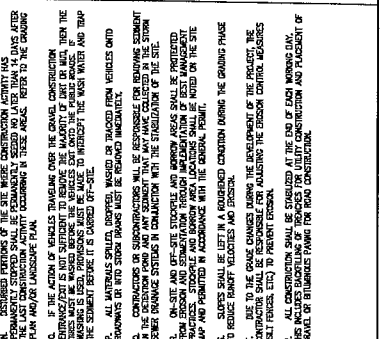
- PREPARE TEMPORARY EROSION CONTROL MEASURES. FROM IMPLEMENTATION AND MAINTENANCE OF THE FOLLOWING TRENCH PROTECTION, DITCH PROTECTION, WEED CONTROLS, SOIL MAT PROTECTION, ETC., LOCATE THE LOCATIONS ON THE SITE MAPS PREPARED FOR THE CONSTRUCTION PROCESS.
- INSTALL EROSION CONTROL MEASURES AT THE LOCATIONS AS SHOWN ON THE CONSTRUCTION MEASURES MAP.
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**GENERAL EROSION NOTES:**

- THE SWEEPING PULLUTION PREVENTION PLAN IS COMPOSED OF THIS DRAWING SET AND THE STANDARD DETAILS. THE PLAN INDICATES THE LOCATIONS WHERE EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND SHALL REVIEW IT CAREFULLY TO UNDERSTAND THE EROSION CONTROL MEASURES AND TO ENSURE THAT ALL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED THROUGHOUT THE PROJECT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- CONTRACTORS SHALL MAINTAIN EROSION CONTROL MEASURES AS REQUIRED BY THE STANDARD DETAILS THROUGHOUT THE PROJECT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS. ANY CHANGES TO THE EROSION CONTROL MEASURES SHALL BE APPROVED BY THE ENGINEER BEFORE IMPLEMENTATION.
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**CONCRETE CURB (OPTIONAL)**  
 ROWWAY

- INSTALL CURB TO BE 18" HIGH AND 3" WIDE.
- CONCRETE CURB SHALL BE INSTALLED TO THE OUTSIDE EDGE OF THE ROWWAY.
- CONCRETE CURB SHALL BE INSTALLED TO THE OUTSIDE EDGE OF THE ROWWAY.
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- CONCRETE CURB SHALL BE INSTALLED TO THE OUTSIDE EDGE OF THE ROWWAY.



**STABILIZED CONSTRUCTION EXIT (ENTRANCE)**  
 NIS

**ROCK CONSTRUCTION ENTRANCE DETAIL**  
 NIS

**STABILIZED CONSTRUCTION EXIT (ENTRANCE)**  
 NIS

**NEW ROADWAY**  
 NIS

**CONCRETE CURB (OPTIONAL)**  
 ROWWAY

BETHANY HELDS

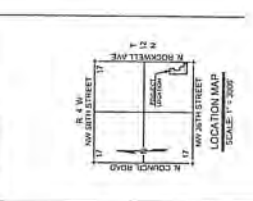
USGS QUADRANGLE MAP NIS

USGS QUADRANGLE MAP NIS

USGS QUADRANGLE MAP NIS

USGS QUADRANGLE MAP NIS

USGS QUADRANGLE MAP NIS



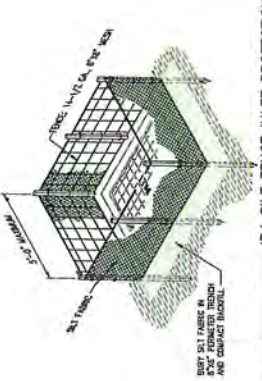
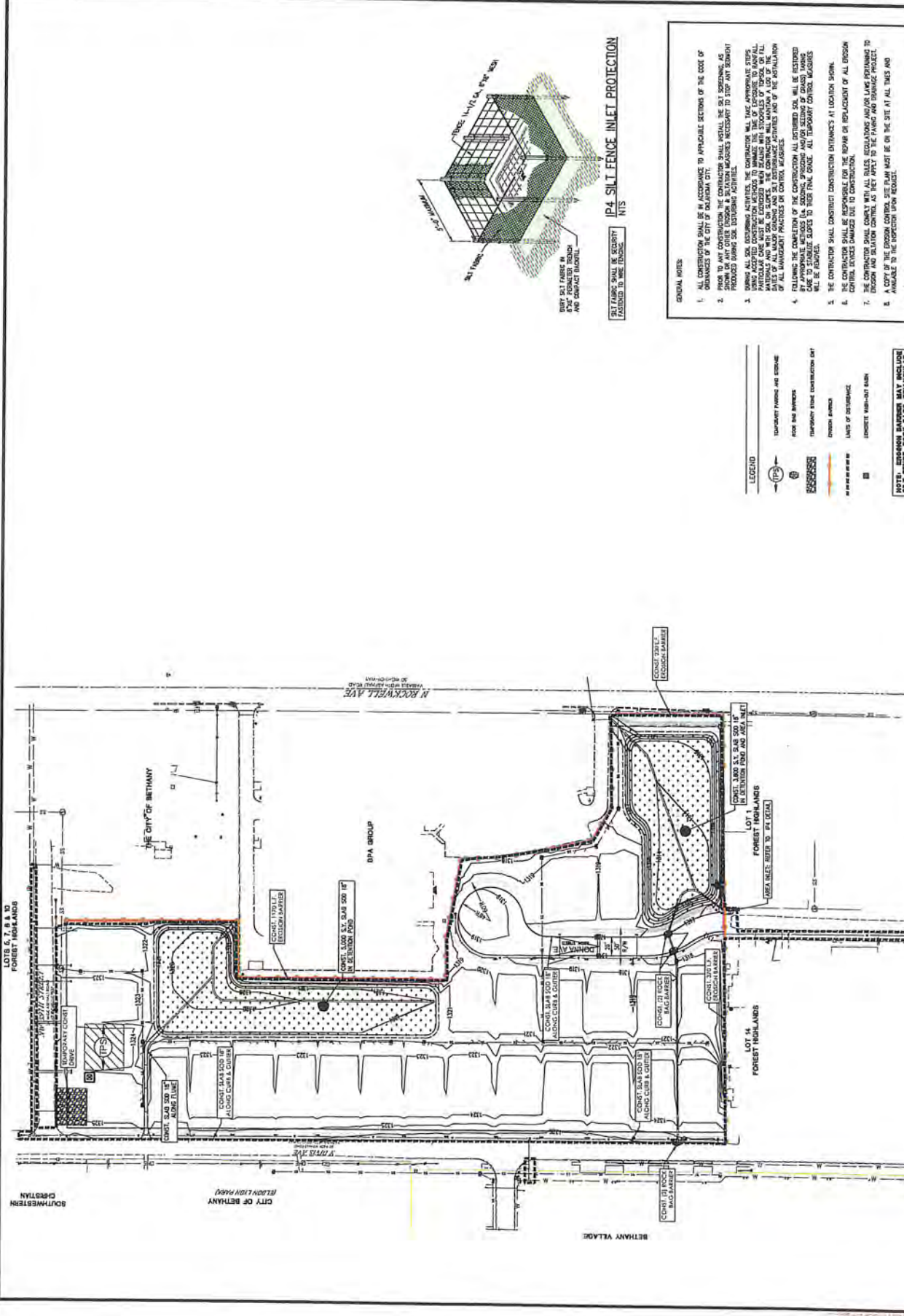
BETHANY FIELDS  
CITY OF BETHANY, OKLAHOMA



NO.	DATE	DESCRIPTION	BY

ISSUED FOR CONSTRUCTION  
EROSION CONTROL PLAN

C-205  
BETHANY FIELDS



- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO APPLICABLE SECTIONS OF THE CODE OF ORDINANCES OF THE CITY OF BETHANY, OKLAHOMA.
  - BEFORE ANY CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE SILT SCREENING AS SHOWN ON ANY OTHER EROSION & SEDIMENT MEASURES NECESSARY TO STOP ANY SEDIMENT PRODUCED DURING SOIL EXPOSURE ACTIVITIES.
  - CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE CONSTRUCTION OF THE APPROPRIATE STOP MEASURES AND SHALL BE LIMITED TO THE CONSTRUCTION OF THE APPROPRIATE STOP MEASURES. PARTICULAR CARE MUST BE EXERCISED WHEN DEALING WITH STOCKPILES OF TOPSOIL OR ALL MATERIALS TO BE EXPOSED TO EROSION AND SEDIMENTATION. APPROPRIATE MEASURES SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION.
  - FOLLOWING THE COMPLETION OF THE CONSTRUCTION ALL DISTURBED SOIL SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS READY TO BE RECLAIMED.
  - THE CONTRACTOR SHALL CONSTRUCT CONSTRUCTION ENTRANCES AT LOCATION SHOWN.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
  - THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND/OR LAWS PERTAINING TO EROSION AND SEDIMENT CONTROL AS THEY APPLY TO THE PAVING AND DRAINAGE PROJECT.
  - CONSTRUCTION SHALL BE LIMITED TO THE PERIODS OF TIME SPECIFIED IN THIS PERMIT.
  - IF ANY SOIL LOSS OCCURS AT ANY TIME AND/OR PLACE, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH LOSS TO THE CITY ENGINEER AND TAKE IMMEDIATE CORRECTIVE ACTION TO PREVENT FURTHER LOSS AND TO RESTORE THE EROSION CONTROL MEASURES TO THEIR ORIGINAL CONDITION.

LEGEND	
	TEMPORARY FENCING AND EROSION CONTROL
	FOREST TRAPLINES
	EROSION CONTROL
	LAND OF DISTURBANCE
	CONCRETE WASH-OUT BASIN

**NOTES:** EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF BETHANY, OKLAHOMA EROSION CONTROL MANUAL. ALL EROSION CONTROL MEASURES SHALL BE REMOVED OR REPAIRED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AND THE SITE IS READY TO BE RECLAIMED.



NO.	DATE	DESCRIPTION

### SANITARY SEWER STANDARD DETAIL

**NOTE:** SALVAGED MATERIALS, INCLUDING RINGS AND COVERS, SHALL BE DELIVERED TO THE MAINTENANCE DIVISION OF THE WATER AND WASTEWATER UTILITIES DEPARTMENT.

DATE	BY	DESCRIPTION

### SANITARY SEWER STANDARD DETAIL

**NOTE:** ALL CONCRETE FOR MANHOLE STRUCTURE AND BASE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.

DATE	BY	DESCRIPTION

### SANITARY SEWER STANDARD DETAIL

**NOTE:** ALL CONCRETE FOR MANHOLE STRUCTURE AND BASE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.

DATE	BY	DESCRIPTION

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DATE	BY	DESCRIPTION

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DATE	BY	DESCRIPTION

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DATE	BY	DESCRIPTION

### SANITARY SEWER STANDARD DETAIL

**NOTE:** ALL CONCRETE FOR MANHOLE STRUCTURE AND BASE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI.

DATE	BY	DESCRIPTION

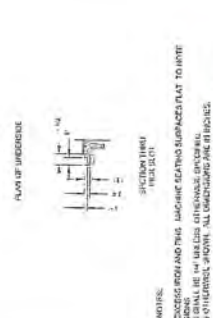
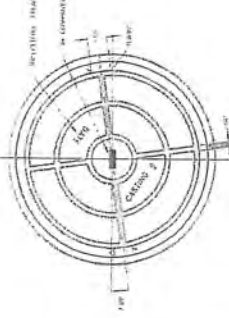


**SANITARY SEWER STANDARD DETAIL**  
**CONTRACTOR TO USE CITY OF**  
**BETHANY'S MANHOLE COVER**



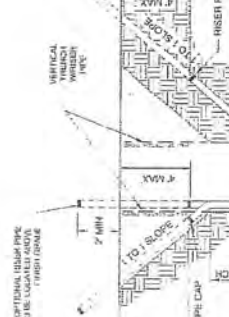
**NON-VENTED MANHOLE COVER**  
 CONTRACTOR TO USE CITY OF BETHANY'S MANHOLE COVER  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



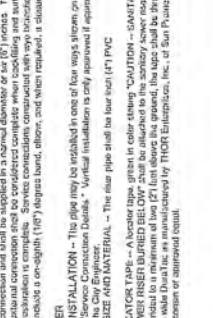
**NON-VENTED MANHOLE COVER**  
 CONTRACTOR TO USE CITY OF BETHANY'S MANHOLE COVER  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



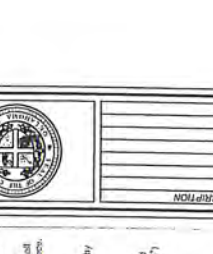
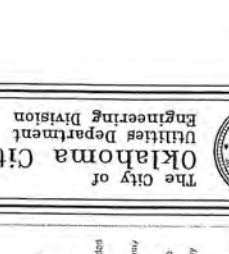
**NON-VENTED MANHOLE COVER**  
 CONTRACTOR TO USE CITY OF BETHANY'S MANHOLE COVER  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



**NON-VENTED MANHOLE COVER**  
 CONTRACTOR TO USE CITY OF BETHANY'S MANHOLE COVER  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



**NON-VENTED MANHOLE COVER**  
 CONTRACTOR TO USE CITY OF BETHANY'S MANHOLE COVER  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**EXTERNAL CONNECTIONS FOR NEW CONSTRUCTION**

**1. WYE BRANCHES** - For new construction there shall be installed wye branches of size and type to match the existing sewer line. Wye branches shall be installed at locations shown on the plan or as indicated by the Engineer.

**2. ELECTRO FUSION BONDED BRIDGES** - For new construction utility "Intrusion Protection Company" proprietary dual HDPE pipe service connections shall be installed with an electric fusion bonded saddle.

**3. EXTERNAL CONNECTION TO EXISTING MAIN** - Connections to existing main may be non-compliant to fabric. Connections may be made by incorporating the existing main and cutting a hole using approved equipment and installing a saddle. Saddle service connections shall be made to the existing main. When existing main has been rehabilitated by trenchless method of construction, the saddle connection shall be made to the existing main. Connections may be made by connecting a section of existing pipe and installing a wye branch. Fittings and pipe assembly shall be sized to match the existing main and shall be installed in a normal diameter or six (6") minimum. The connection shall be made to the existing main. Service connections constructed with wye branches shall include a one-eight (1/8") algebra band, elbow, and when required, a clean access.

**3. RISER**

**a. INSTALLATION** - The pipe may be installed in one of four ways shown on "Service Connection Details." Vertical installation is only approved if approved by the Engineer.

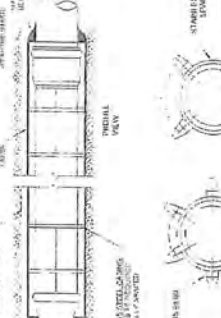
**b. SIZE AND MATERIAL** - The riser pipe shall be four inch (4") PVC.

**4. LOCATIONS TO BE USED** - The riser pipe shall be installed in one of the following locations:

**a. SERVICE CONNECTION** - The riser pipe shall be installed in one of the following locations:

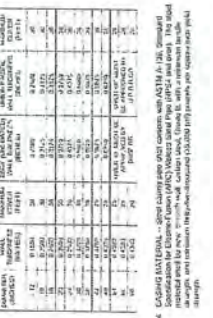
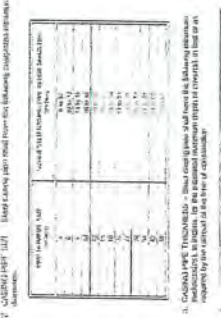
**b. SERVICE CONNECTION** - The riser pipe shall be installed in one of the following locations:

**SANITARY SEWER STANDARD DETAIL**



**NOTE:**  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



**NOTE:**  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



**NOTE:**  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

**SANITARY SEWER STANDARD DETAIL**



**NOTE:**  
 1. SEE DRAWING FOR MANHOLE COVER DIMENSIONS  
 2. SEE DRAWING FOR MANHOLE COVER WEIGHT  
 3. SEE DRAWING FOR MANHOLE COVER MATERIAL  
 4. SEE DRAWING FOR MANHOLE COVER FINISH

The City of Oklahoma City  
 Utilities Department  
 Engineering Division

**SANITARY SEWER STANDARD DETAILS**

**NO DATE**

**DESCRIPTION**

**SCALE:** AS SHOWN

**SHEET NUMBER:** S-STD-04

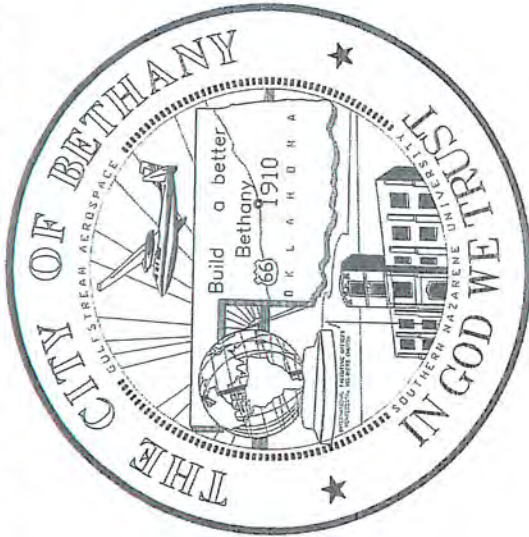
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**CHECKED BY:** [Blank]

**DATE:** [Blank]

**DATE:** [Blank]

# CITY OF BETHANY PUBLIC WORKS AUTHORITY



WATER LINE PLANS  
FOR

# BETHANY FIELDS

A PART OF THE SE/4, SECTION 17, T12N, R4W, I.M.  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA

### SUMMARY OF QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
1.	12" WATER LINE (C-200 PVC)	L.F.	2215	
2.	BORE AND STEEL ENCASUREMENT FOR 8" MAIN	L.F.	30	
3.	BORE ENCASUREMENT FOR 8" MAIN	L.F.	15	
4.	BORE ENCASUREMENT FOR 8" MAIN	L.F.	30	
5.	BORE ENCASUREMENT FOR 8" MAIN	L.F.	30	
6.	PIPE INDIANT	S.A.	355	
7.	PIPE INDIANT TIE	EA.	3	
8.	8" PIP TIE	EA.	4	
9.	8" GATE VALVE & BOX	EA.	11	
10.	8" GATE VALVE & BOX	EA.	8	
11.	8" GATE VALVE & BOX	EA.	8	
12.	8" GATE VALVE & BOX	EA.	4	
13.	8" GATE VALVE & BOX	EA.	1	
14.	8" TAPPING SLAVE (ALJ)	EA.	1	
15.	8" TAPPING VALVE & BOX	EA.	2	
16.	8" PLUG W/ 2" BLOWOFF	EA.	2	
17.	8" PLUG W/ 2" BLOWOFF	EA.	1	
18.	8" PLUG W/ 2" BLOWOFF	EA.	1	
19.	VALV CONNECTION	EA.	1	
20.	REMOVE & REPLACE ASPHALT	S.Y.	41	
21.	REMOVE & REPLACE ASPHALT	S.Y.	14	
22.	REMOVE & REPLACE CURB AND DUTTER	L.F.	8	
23.	1" SSS	EA.	35	
24.	1" SSS	EA.	4	
25.	1" SSS BY WORE	EA.	9	
26.	THE EXISTING METERS TO BE REMOVED WITH IT SERVICES TESTING AND DISINFECTING	L.F.	1	

### EROSION CONTROL QUANTITIES (BY DEVELOPER)

1.	REAR CONSTRUCTION DRIVE	L.F.	1
2.	SILT FENCE	S.Y.	1770
3.	12" SLAB SOD ALONG CURBS, LAKE WASHING & FLARE	S.Y.	30
4.	12" SLAB SOD FOR DUST CONTROL FOND & AREA AHEAD	S.Y.	800
5.	ROCK BAG BARRIERS	EA.	3
6.	CONCRETE WASH OUT	EA.	1

BACKSHEETS  
FOR BETHANY FIELDS  
FOR THE 12"  
CONCRETE WASH OUT  
FOR THE 12"  
CONCRETE WASH OUT  
FOR THE 12"  
CONCRETE WASH OUT  
FOR THE 12"  
CONCRETE WASH OUT



**The City of BETHANY, OKLAHOMA**  
JANIS B. SUGG, MAYOR  
BETHANY CITY MANAGER

**APPROVED:**  
CITY MANAGER  
JANIS B. SUGG  
DATE: 3/11/2016

**REVIEWED BY:**

**DATE:**

**SITE:**

**ONE CALL UTILITY LOCATION NUMBER:**  
840-5032  
1-800-522-0543

**REVIEWED BY:**

**DATE:**

**SITE:**

**CONTRACT NUMBER:** 2015-001

**PROJECT NAME:** BETHANY FIELDS

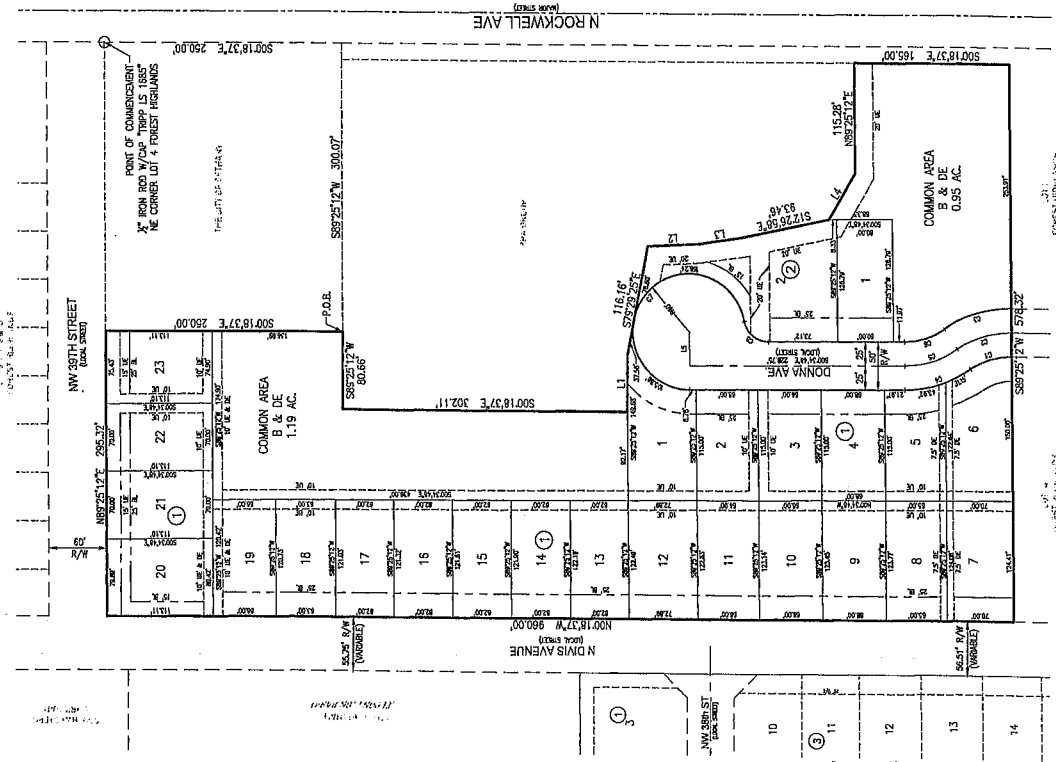
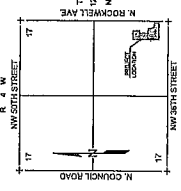
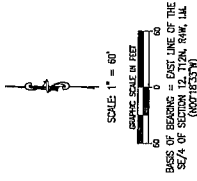
**DATE:** 3/11/2016



FINAL PLAT

OF  
**BETHANY FIELDS**

A PART OF THE SE/4 OF SECTION 17, T12N, R4W, L.M.  
 CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



- LEGEND**
- P.O.B. POINT OF BEGINNING
  - R/W RIGHT-OF-WAY
  - BL BUILDING LIMIT LINE
  - ULI UTILITY EASEMENT
  - DE DRAINAGE EASEMENT
  - AE ALLEE
  - (N) NARRROW LINE

**LINE TABLE**

LINE #	LENGTH	BEARING
1	45.47'	S87°47'09"
2	60.44'	S02°57'32"
3	60.44'	S89°25'12"
4	45.47'	S87°47'09"
5	30.27'	S89°25'12"

**CURVE TABLE**

CURVE #	LENGTH	ARC CHORD	CHORD BEARING	CHORD LENGTH
C1	45.47'	38.74'	S87°47'09"	44.37'
C2	60.44'	50.24'	S02°57'32"	58.17'
C3	60.44'	50.24'	S89°25'12"	58.17'
C4	45.47'	38.74'	S87°47'09"	44.37'
C5	30.27'	25.86'	S89°25'12"	26.18'
C6	45.47'	38.74'	S87°47'09"	44.37'
C7	27.15'	22.87'	S89°25'12"	22.87'
C8	30.27'	25.86'	S89°25'12"	26.18'

**NOTES**

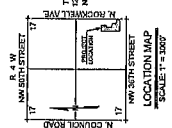
- This plat of survey meets the Oklahoma Minimum Standards for the Precision of Land Surveying and Mapping, as set forth in the Oklahoma Statutes, and the requirements of Title 11, Section 4-111 of the Oklahoma State Statutes.
- Monuments shall be as follows:  
 3/4" iron rod with a Plastic Cap stamped "TVA 10/07/77"
- Measurements of the Common Area and Individual Lots in this plat shall be the responsibility of the Property Owners and/or Property Owners Association. No alterations, changes, deletions, or other additions, other than those indicated on this plat, shall be made to the common area, utility easements, drainage easements, or other features shown on this plat, without the written consent of the City of Bethany. All such alterations, deletions, or other features shall be subject to a separate plat of survey and shall be recorded in the public records.

**BETHANY FIELDS**  
 324 North Oklahoma Road  
 Tulsa, Oklahoma 74106

**Crafton Tull**  
 4917 JONES - 48277 2341  
 www.craftontull.com

SHEET NO. 2 OF 2  
 DATE: 07/28/26  
 PROJECT NO.: 2561200



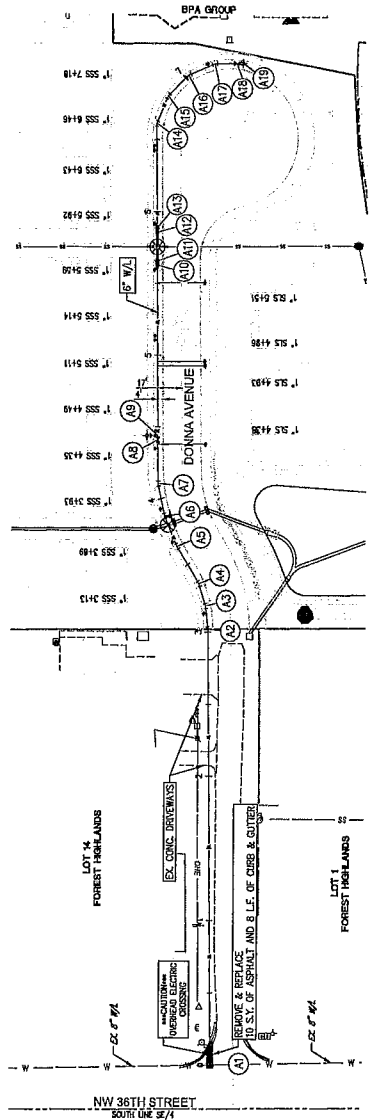


BETHANY FIELDS  
CITY OF BETHANY, OKLAHOMA

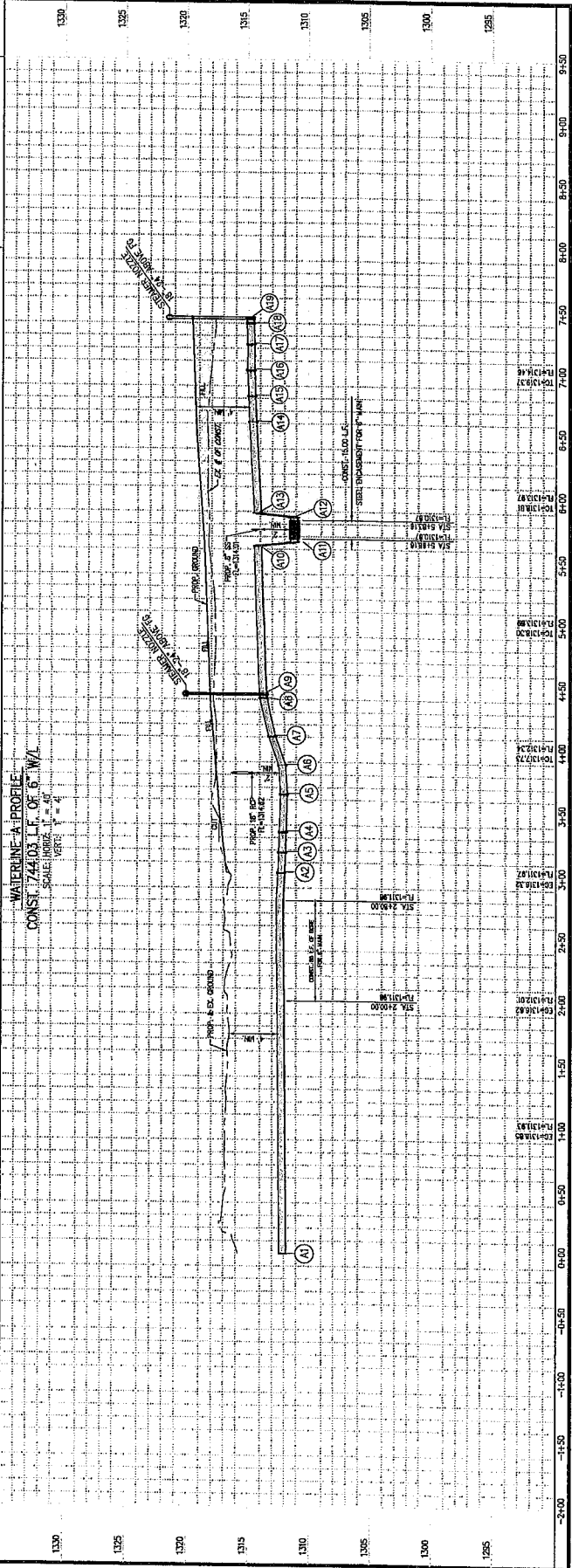
DESIGNED FOR  
CONSTRUCTION  
WATER LINE A

C-201

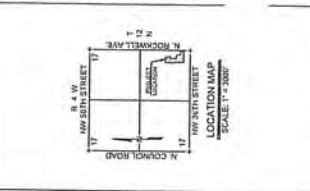
NOTE:  
WHERE FILL MATERIAL IS INDICATED SUCH MATERIAL SHALL BE PLACED AND COMPACTED IN SIX (6) INCH LIFTS FOR EACH FOOT OF DEPTH. ALL FILL SHALL BE PLACED TO MEET STANDARD PROPER POWER-DRAWN EQUIPMENT TO 95% STANDARD PROPER DENSITY PRIOR TO TRENCHING.



- BPA GROUP**
- A10 STA. 5457.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A11 STA. 5458.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A12 STA. 5459.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A13 STA. 5460.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A14 STA. 5461.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A15 STA. 5462.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A16 STA. 5463.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A17 STA. 5464.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A18 STA. 5465.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A19 STA. 5466.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
- LOT 14 FOREST HIGHLANDS**
- A1 STA. 5467.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A2 STA. 5468.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A3 STA. 5469.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A4 STA. 5470.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A5 STA. 5471.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A6 STA. 5472.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A7 STA. 5473.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A8 STA. 5474.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A9 STA. 5475.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
- LOT 1 FOREST HIGHLANDS**
- A10 STA. 5476.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A11 STA. 5477.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A12 STA. 5478.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A13 STA. 5479.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A14 STA. 5480.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A15 STA. 5481.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A16 STA. 5482.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
  - A17 STA. 5483.68 CONST. (1) 6" W.V. BEND W/ M.I.R. (2) 6" W.V. BEND W/ M.I.R. F.I.=313.81
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BY: [Name]

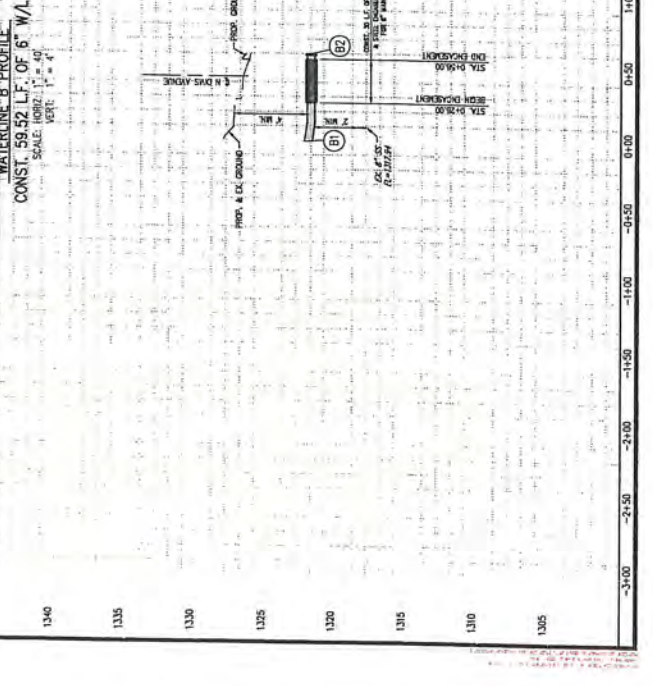
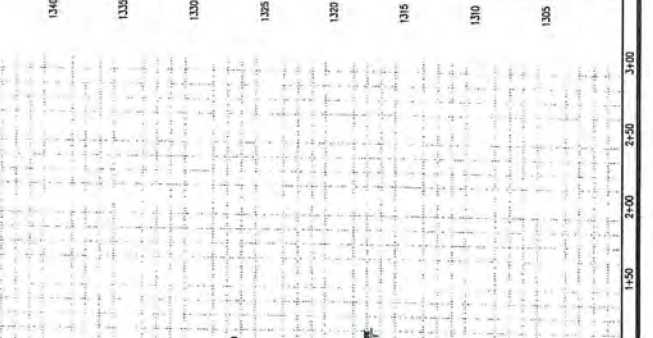
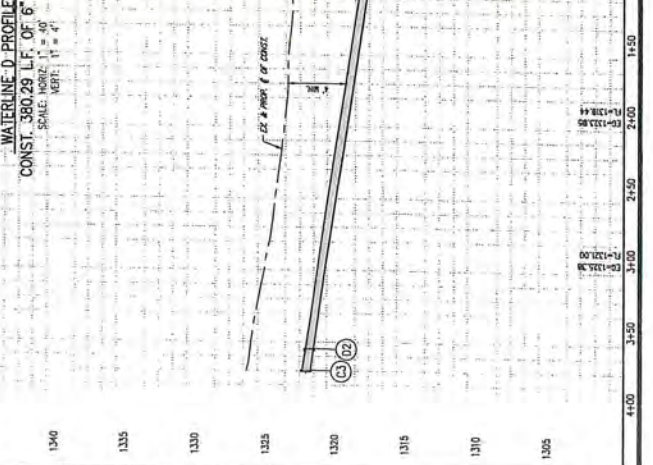
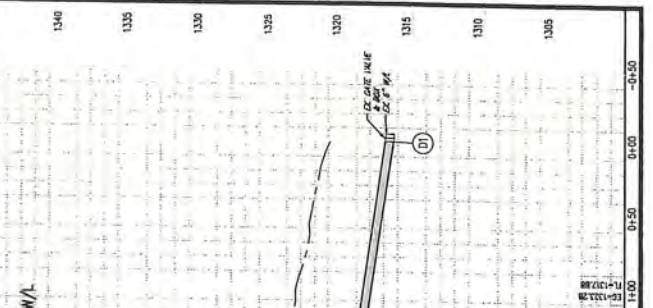
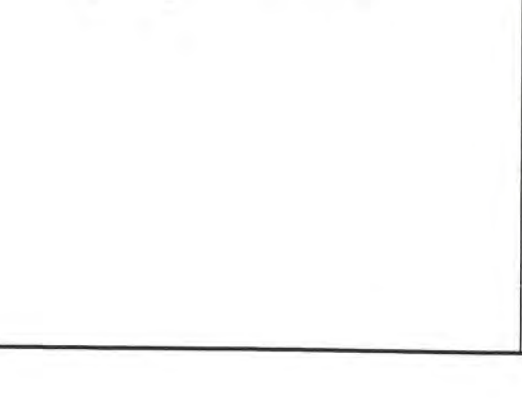
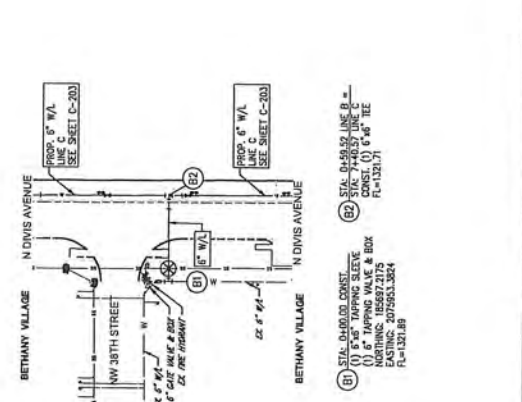
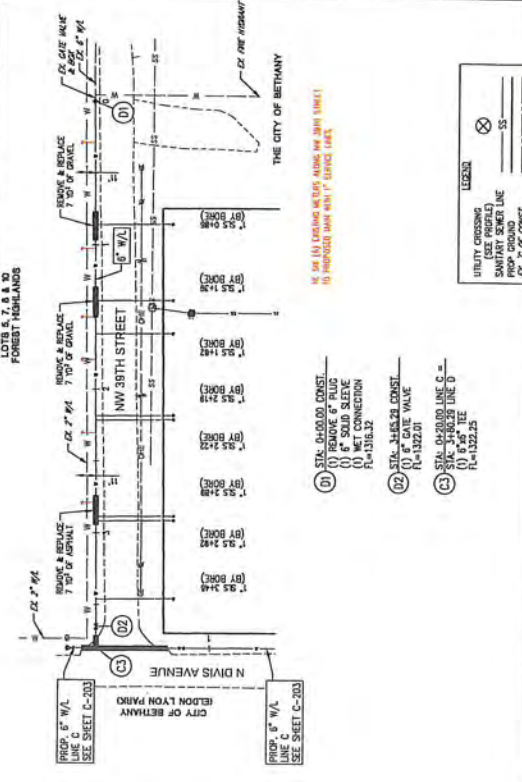


**BETHANY FIELDS**  
CITY OF BETHANY, OKLAHOMA

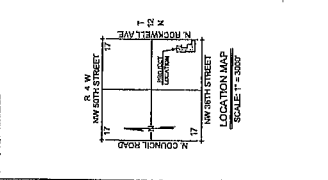
DATE: 08/11/2011	PROJECT: WATERLINE B & D
DRAWN BY: J. HARRIS	CHECKED BY: J. HARRIS
ISSUED FOR CONSTRUCTION	SCALE: AS SHOWN

**C-202**

**NOTE:**  
WHERE FILL MATERIAL IS INDICATED SUCH MATERIAL SHALL BE PLACED AND COMPACTED IN SIX (6) INCH LIFTS FOR HAND-TAMPED EQUIPMENT AND THIRTY (30) INCH LIFTS FOR COMPACTORS TO 95% STANDARD PROCTOR DENSITY PRIOR TO BACKFILLING.



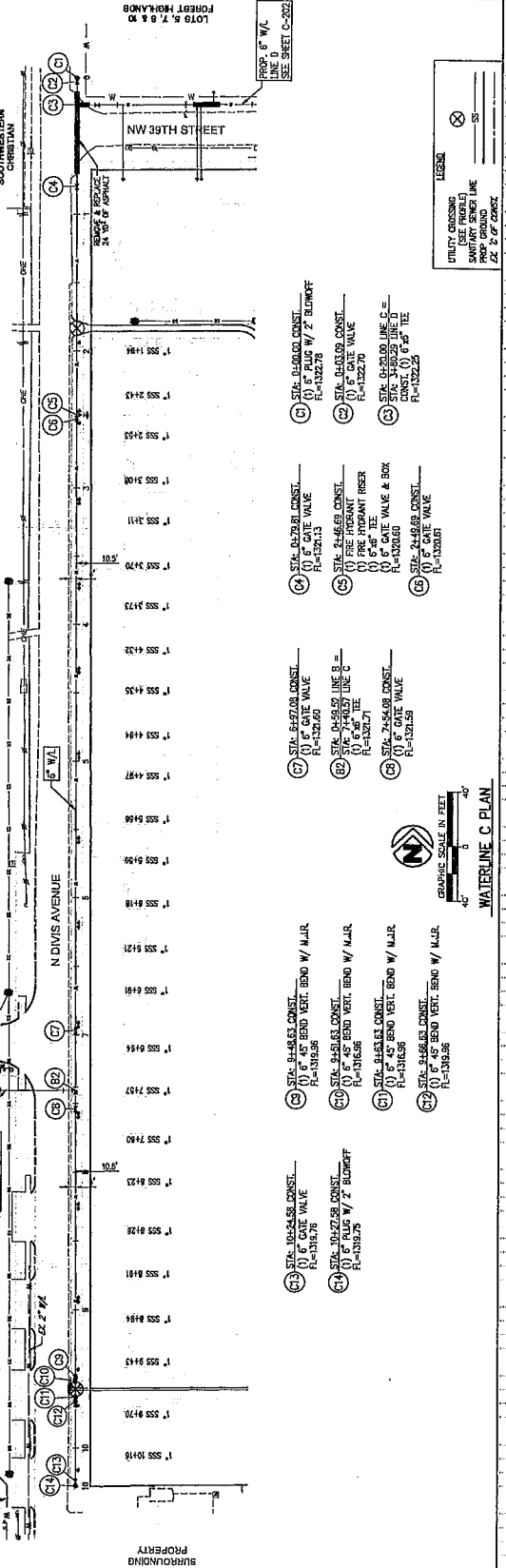
BETHANY FIELDS



BETHANY FIELDS  
 CITY OF BETHANY, OKLAHOMA

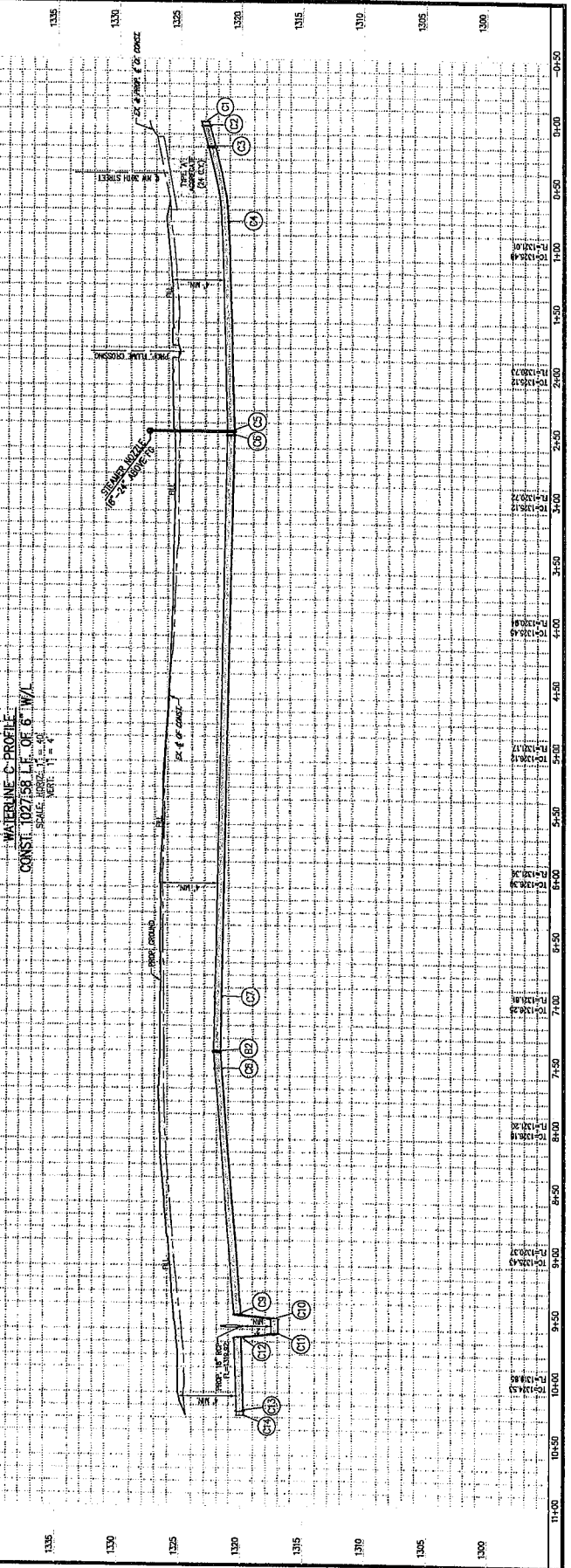
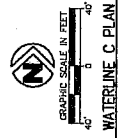
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CHECKED: [Signature]	DATE: 11/11/2010
ISSUED FOR CONSTRUCTION	
WATER LINE C	

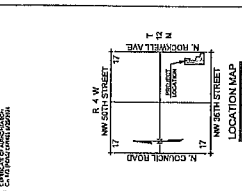
**NOTE:**  
 WHERE FILL MATERIAL IS INDICATED SUCH MATERIAL SHALL BE PLACED AND COMPACTED IN SIX (6) INCH LIFTS FOR EACH FOOT OF THICKNESS. ALL LIFTS SHALL BE TESTED FOR POWER-PROVEN EQUIVALENT TO SSP STANDARD PROBE DENSITY PRIOR TO TRENCHING.



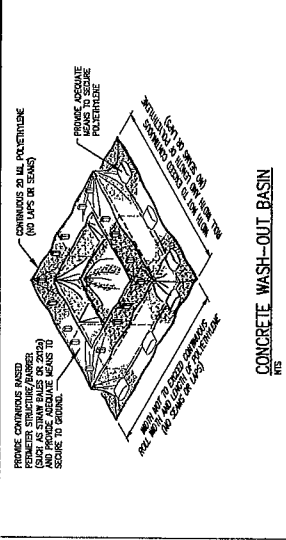
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FL=1357.76
- 33 STA. 10+84.00 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
FL=1357.76
- 34 STA. 11+04.75 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 35 STA. 11+24.50 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
FL=1357.76
- 36 STA. 11+44.25 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 37 STA. 11+64.00 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 38 STA. 11+83.75 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 39 STA. 12+03.50 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 40 STA. 12+23.25 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 41 STA. 12+43.00 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 42 STA. 12+62.75 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 43 STA. 12+82.50 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 44 STA. 13+02.25 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 45 STA. 13+22.00 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
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- 47 STA. 13+61.50 CONST. (1) 6" GATE VALVE (2) 6" PLUG W/ 2 BLOWOFF  
FL=1357.76

LEGEND  
 ⊗ UTILITY CROSSING  
 ⊗ SWIMMING POOL  
 ⊗ PROPOSED SIDEWALK  
 ⊗ PROPOSED DRIVEWAY  
 ⊗ EX. DRIVEWAY  
 ⊗ EX. SIDEWALK





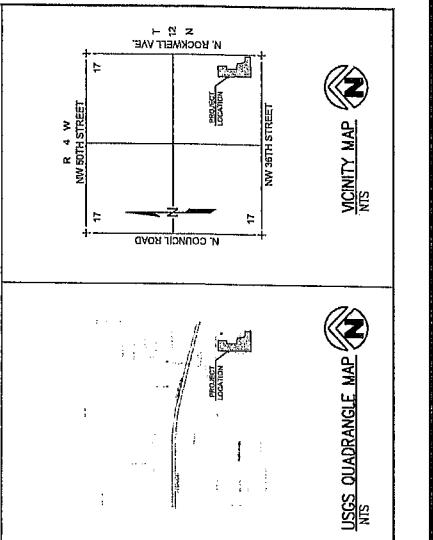
**BETHANY FIELDS**  
 CITY OF BETHANY, OKLAHOMA



**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**  
 N1S

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	DATE/GENERAL CONTRACTOR TO COMPLETE THIS SCHEDULE	STATUS
SOFT EARTH/SEDIMENT CONTROL		
TEMPORARY EROSION CONTROL MEASURES		
STORM WATER TREATMENT		
TEMPORARY EROSION CONTROL MEASURES		
FOUNDATION/RETAINING WALL CONSTRUCTION		
BASE COURSE CONSTRUCTION		
FINAL PAVEMENT		
LANDSCAPING/SEEDING/PALM STABILIZATION		



**ACREAGE SUMMARY**

ACREAGE AREA	ACRES
STATED AREA	1.22
TOTAL DISTURBED	1.62

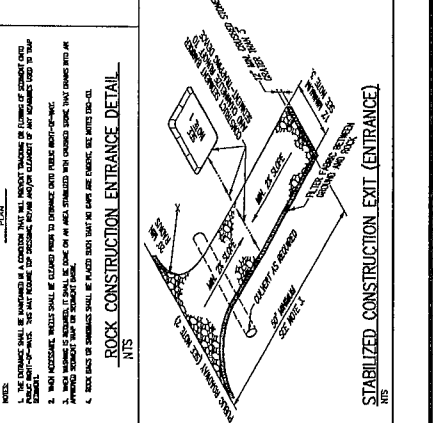
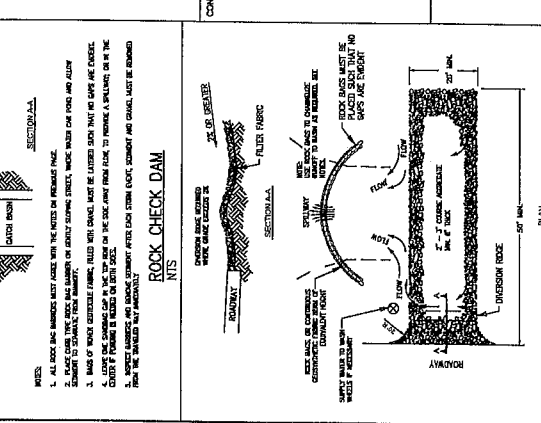
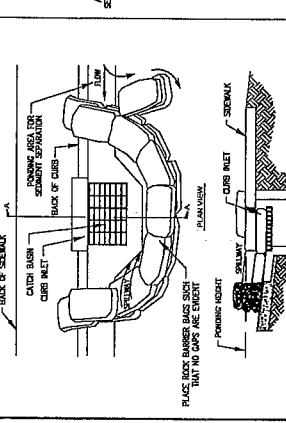
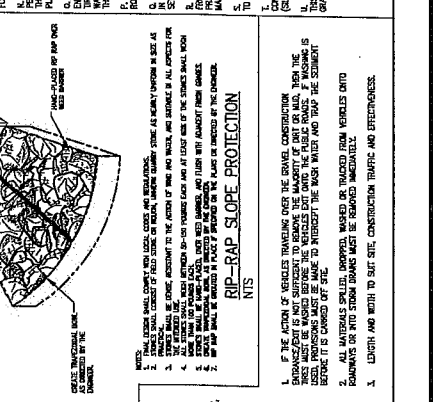
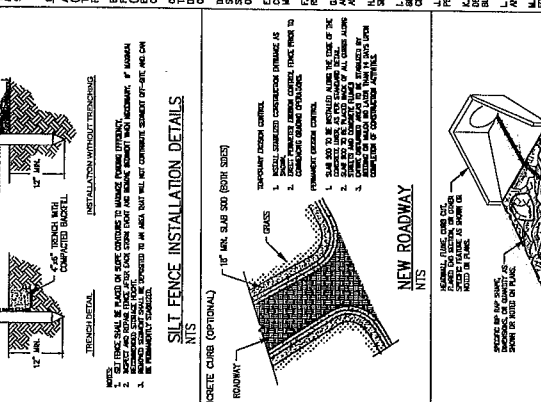
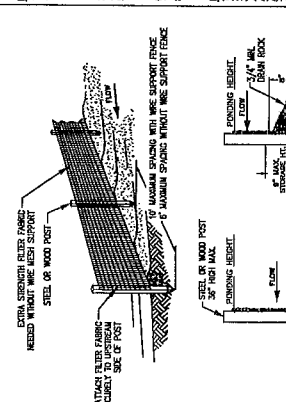
**PROFESSIONAL ENGINEER:**  
 CODY W. HICKS  
 REGISTERED PROFESSIONAL ENGINEER  
 7010 W. 116th STREET, SUITE 100  
 OKLAHOMA CITY, OKLAHOMA 73160  
 TEL: 405.261.1160  
 FAX: 405.261.1161  
 E-MAIL: cody@hicksw.com

T.B.M.  
 BUREAU OF LAND MANAGEMENT  
 1506 SOUTH GREAT COURSES, 15/4 OF SECTION 17, T10N, R4W, U1A  
 NORTHWEST CORNER OF EASTING: 2078458.18; NORTHERN: 13153.724

- GENERAL EROSION CONTROL NOTES:**
- A. THE SEDIMENTATION PREVENTION PLAN IS COMPRISED OF THIS DRAWING AND THE CONSTRUCTION PHASES. THE PLAN SHOWS THE LOCATION OF THE TEMPORARY EROSION CONTROL MEASURES, THE TYPE OF MEASUREMENTS TO BE TAKEN, THE TYPE OF MATERIALS TO BE USED, THE TYPE OF VEGETATION TO BE PLANTED, AND THE TYPE OF CONSTRUCTION MATERIALS TO BE USED.
  - B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES.
  - C. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND EXISTING CONSTRUCTION MATERIALS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND EXISTING CONSTRUCTION MATERIALS AT ALL TIMES.

- D. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND EXISTING CONSTRUCTION MATERIALS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND EXISTING CONSTRUCTION MATERIALS AT ALL TIMES.
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**BETHANY FIELDS**  
 CITY OF BETHANY, OKLAHOMA

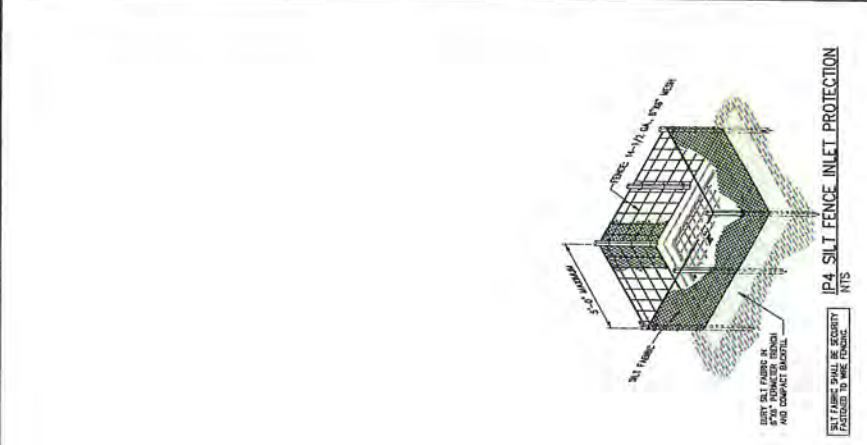


GENERAL NOTES

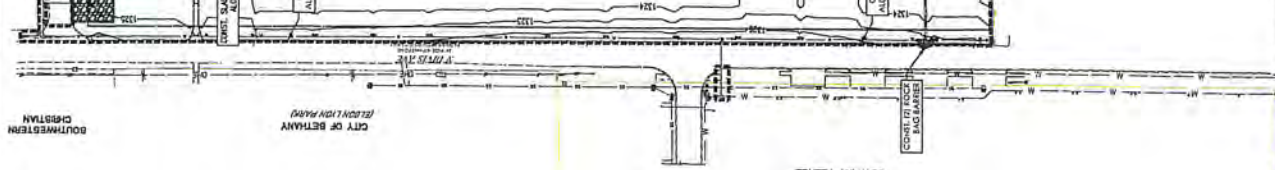
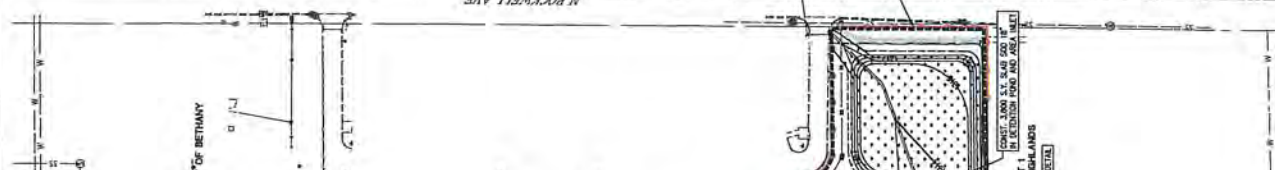
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO APPLICABLE SECTIONS OF THE CODE OF ORDINANCES OF THE CITY OF OKLAHOMA, CITY OF BETHANY, AND THE STATE OF OKLAHOMA.
2. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL INSTALL THE SILT PROTECTION AS SHOWN ON ANY OTHER DROPPED & SLOTTED MEASURES NECESSARY TO STOP ANY SEDIMENT PRODUCED DURING SOIL DISTURBANCE ACTIVITIES.
3. ALL SLOTTED MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETHANY'S PARTICULAR CARE MUST BE EXERCISED WHEN LOCATING THE SLOTTED MEASURES TO AVOID DAMAGE TO ALL MAJOR CHANGES AND SOIL DISTURBANCE ACTIVITIES AND OF THE INSTALLATION OF ALL MAJOR CHANGES OF CONTROL MEASURES.
4. FOLLOWING THE COMPLETION OF THE CONSTRUCTION ALL SLOTTED SOIL WILL BE RESTORED TO ORIGINAL CONDITION AND ALL SLOTTED MEASURES WILL BE REMOVED.
5. THE CONTRACTOR SHALL CONTACT CONSTRUCTION CONTRACTS AT LOCATION SHOWN. CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
6. THE CONTRACTOR SHALL COMPLY WITH ALL MAJOR REGULATIONS AND/OR LAWS PERTAINING TO DROPPED AND SLOTTED CONTROL AS THEY APPLY TO THE FILING AND DRAINAGE PROJECT.
7. A COPY OF THE PROTECTION PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES AND 1" = 50' SIZED ALONG ALL CLOS & OPENINGS.

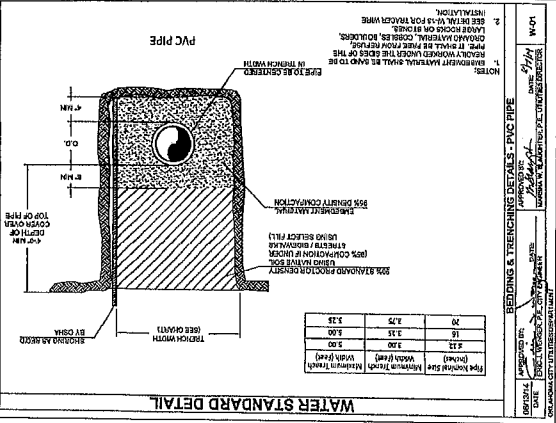
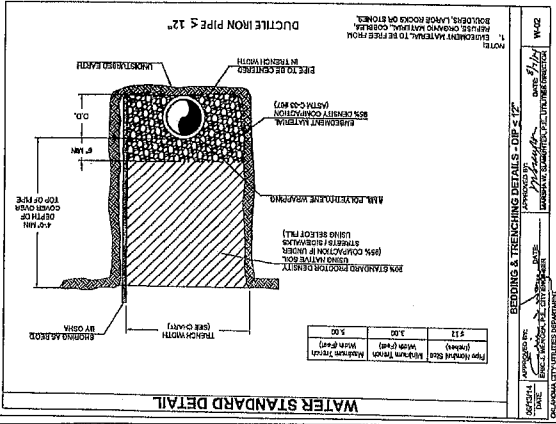
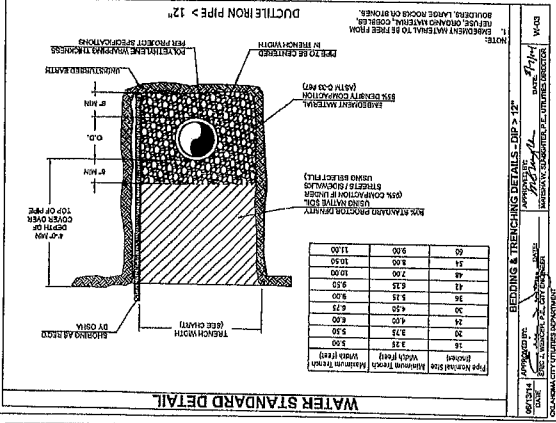
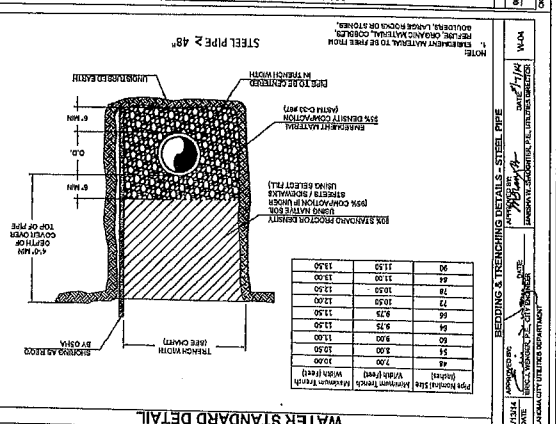
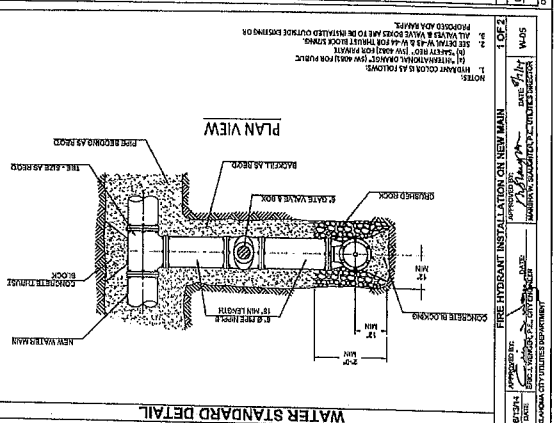
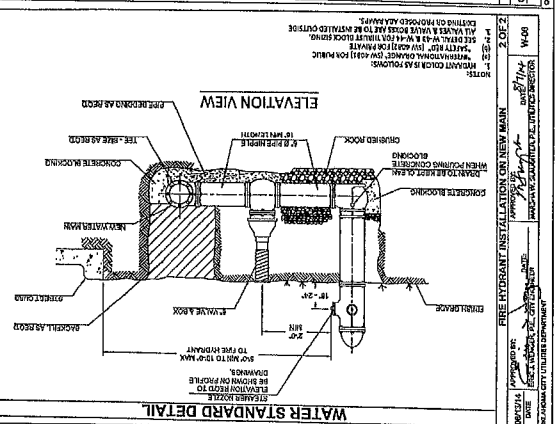
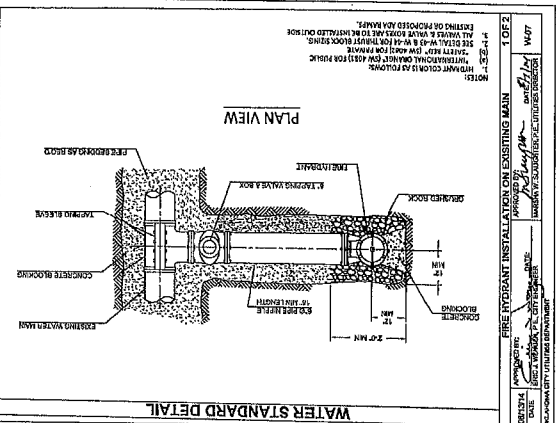
**CONTRACTOR**  
**CONSTRUCTION**  
 EROSION CONTROL PLAN

**C-205**



- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO APPLICABLE SECTIONS OF THE CODE OF ORDINANCES OF THE CITY OF OKLAHOMA, CITY OF BETHANY, AND THE STATE OF OKLAHOMA.
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WATER STANDARD DETAIL INDEX

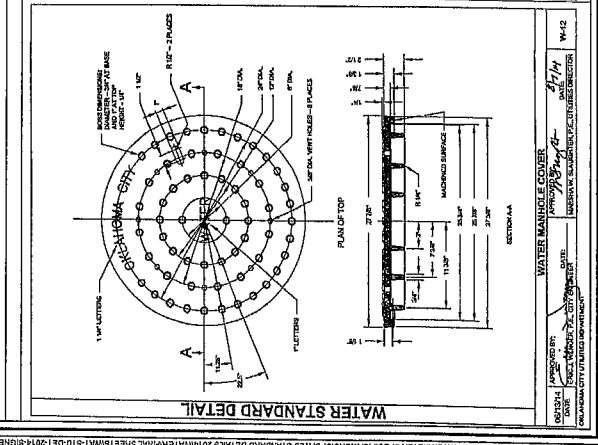
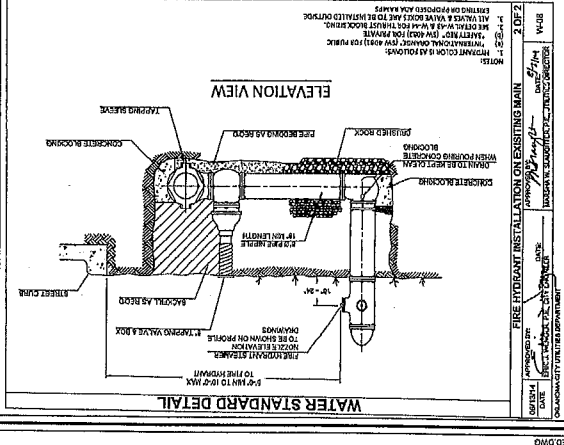
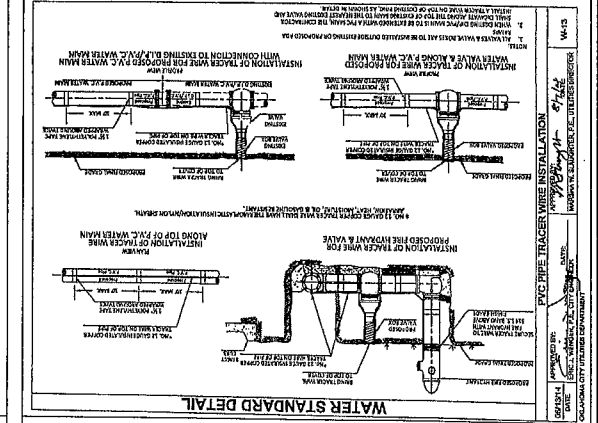
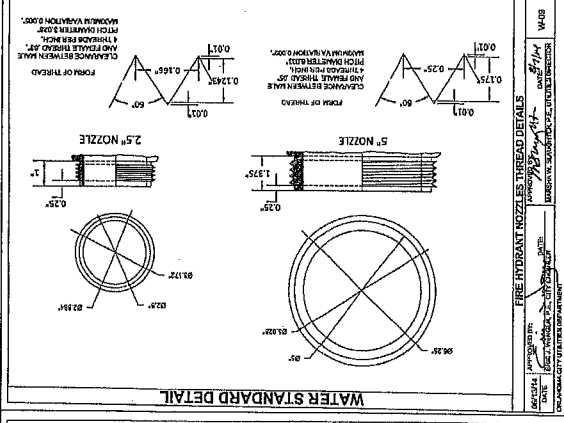
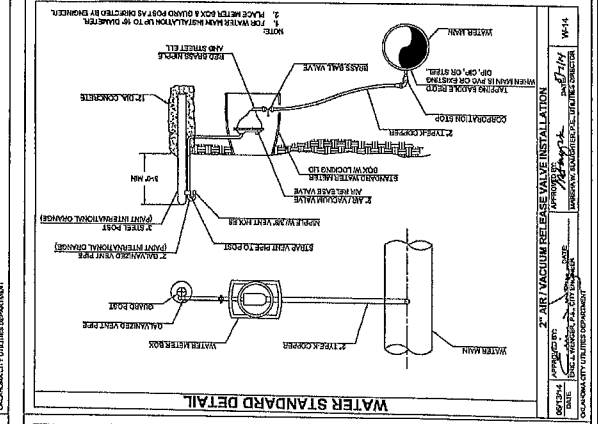
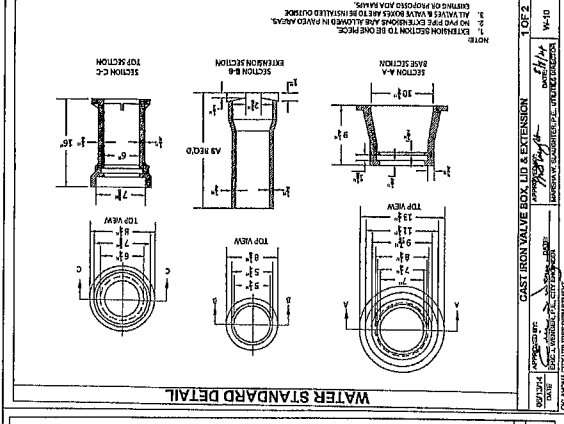
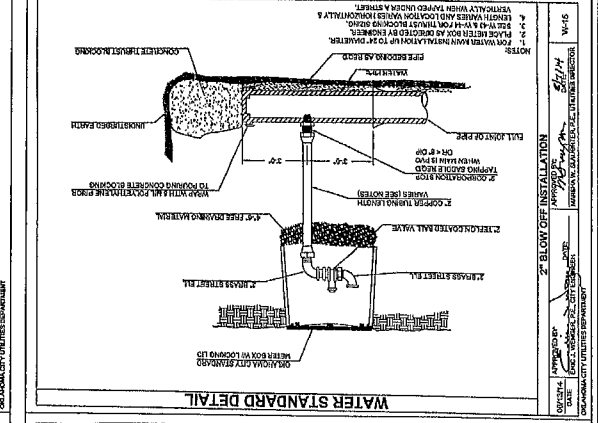
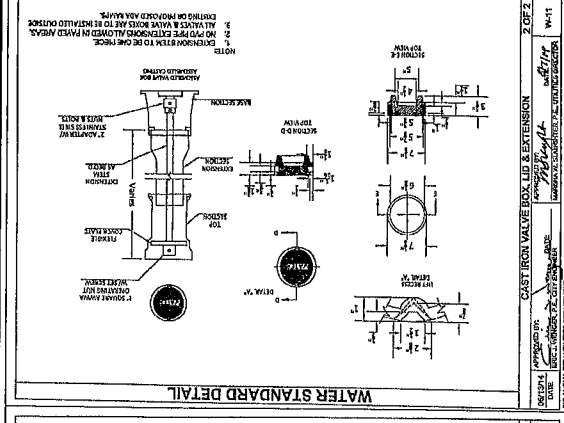
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450	RECORD & TRENCHING DETAILS - STEEL PIPE



NO.	DATE	DESCRIPTION

WATER  
STANDARD DETAILS

DATE	QUANTITY	REVISION	SCALE	W/M/SH	SHEET NUMBER



W-STD-03  
SHEET NUMBER  
SCALE  
AS SHOWN  
DATE  
DRAWN BY  
CHECKED BY

### WATER STANDARD DETAILS

NO.	DATE	DESCRIPTION

The City of Oklahoma City  
Utilities Department  
Engineering Division

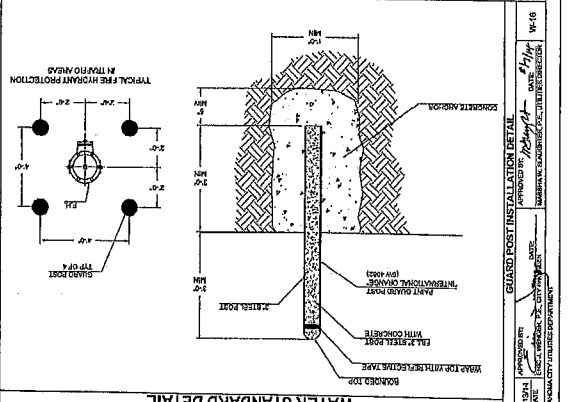
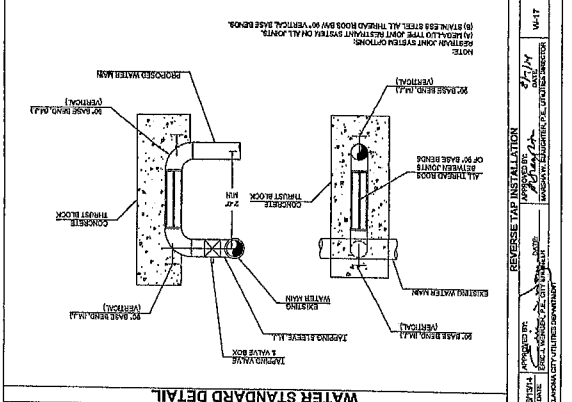
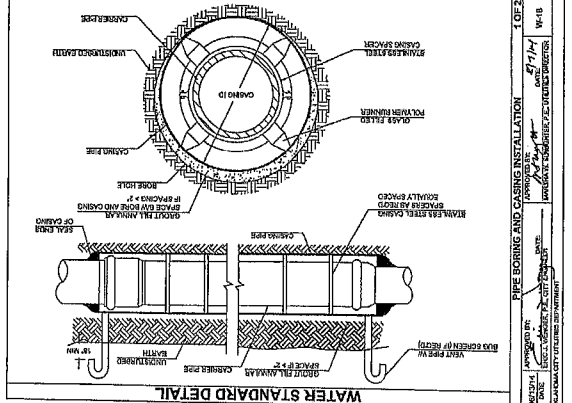
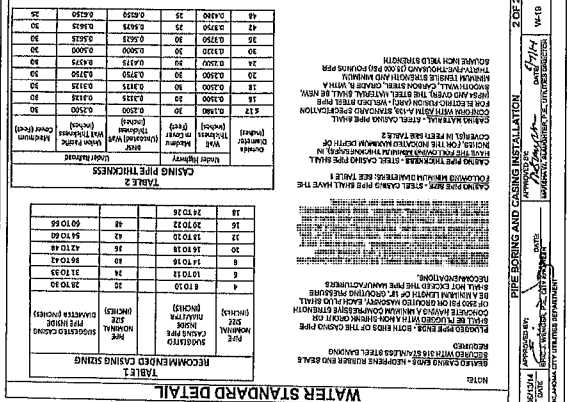
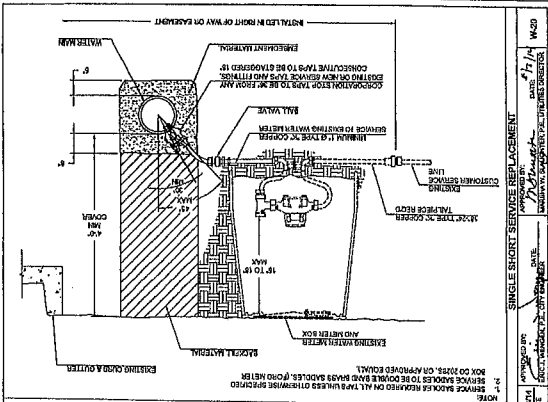
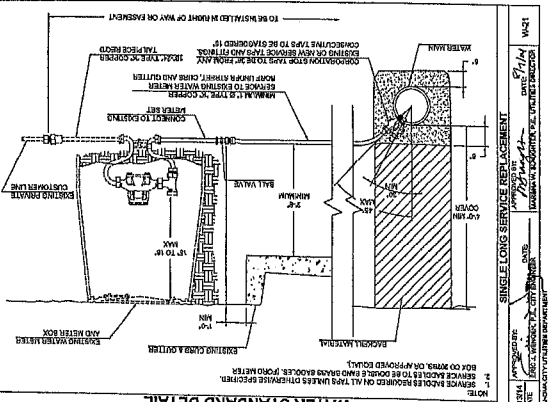
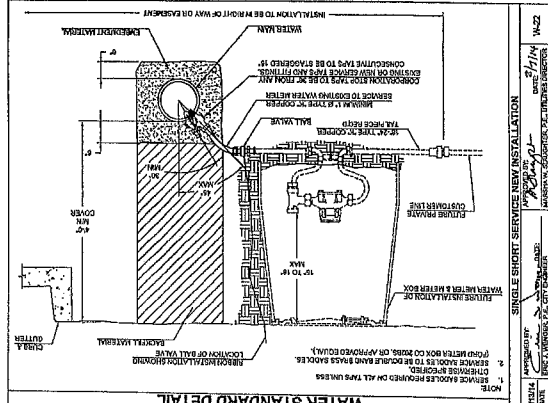
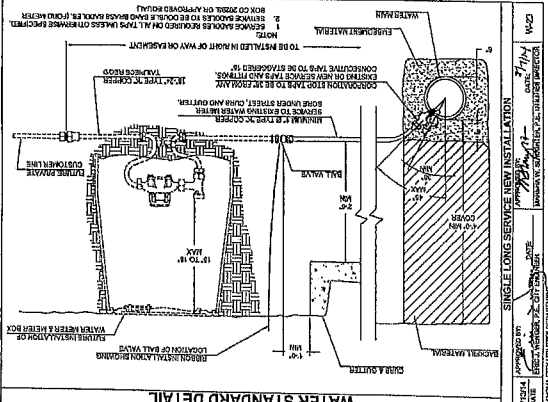
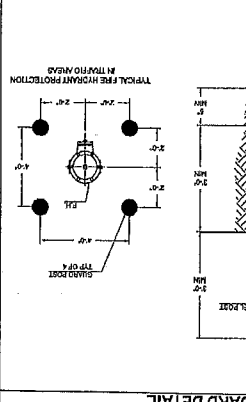
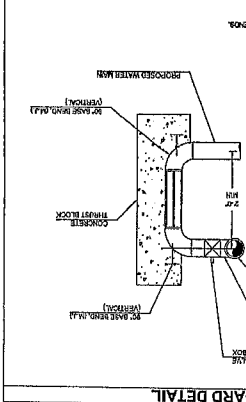
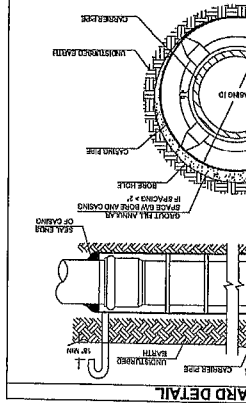


TABLE 1  
RECOMMENDED CASING SIZES

PIPE SIZE (INCHES)	RECOMMENDED CASING SIZE (INCHES)
4	8
6	10
8	12
10	14
12	16
14	18
16	20
18	22
20	24
22	26
24	28
26	30
28	32
30	34
32	36
34	38
36	40
38	42
40	44
42	46
44	48
46	50
48	52
50	54



PL1070, Tuesday, August 28, 2018 10:18:08 AM  
SHEET NUMBER: W-STD-03



NO.	DATE	DESCRIPTION

**WATER STANDARD DETAILS**

DATE: **08/21/14**  
DRAWN BY: **J.A. FROST**  
CHECKED BY: **J.A. FROST**  
SCALE: **AS SHOWN**  
SHEET NUMBER: **W-STD-04**

**WATER STANDARD DETAIL**

**METER BOX LID FOR PAVED AREAS - 20" x 20"**

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**METER BOX FOR GRAVEL AREAS**

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**METER BOX FOR GRASSY AREAS**

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**METER BOX LID FOR PAVED AREAS - 14" x 14"**

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**WATER METER VAULT INSTALLATION**

SECTION 7'-0" BY 5'-0" METERS

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**WATER METER VAULT INSTALLATION**

SECTION 7'-0" BY 7'-0" METERS

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**METER CONNECTION FOR STREET REGULAR, SUBURBAN, & RAMP**

NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000

**WATER STANDARD DETAIL**

**METER BOX LID FOR PAVED AREAS - 14" x 14"**

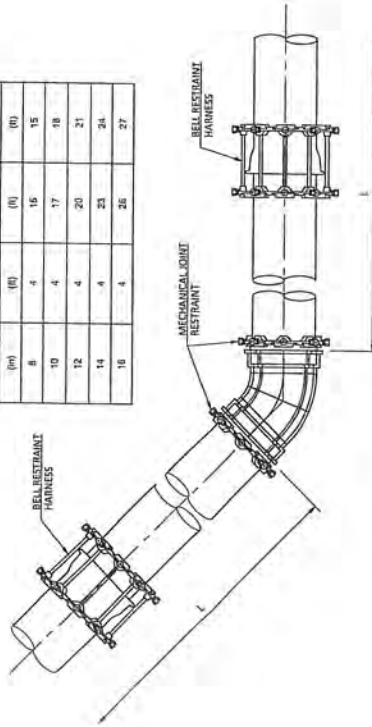
NOTE: 1. COVER TO CUT WORK.

WATER METER SPECIFICATIONS: PER OWS 204.300, 204.310, 204.320, 204.330, 204.340, 204.350, 204.360, 204.370, 204.380, 204.390, 204.400, 204.410, 204.420, 204.430, 204.440, 204.450, 204.460, 204.470, 204.480, 204.490, 204.500, 204.510, 204.520, 204.530, 204.540, 204.550, 204.560, 204.570, 204.580, 204.590, 204.600, 204.610, 204.620, 204.630, 204.640, 204.650, 204.660, 204.670, 204.680, 204.690, 204.700, 204.710, 204.720, 204.730, 204.740, 204.750, 204.760, 204.770, 204.780, 204.790, 204.800, 204.810, 204.820, 204.830, 204.840, 204.850, 204.860, 204.870, 204.880, 204.890, 204.900, 204.910, 204.920, 204.930, 204.940, 204.950, 204.960, 204.970, 204.980, 204.990, 205.000



STANDARD RESTRAINT LENGTH TABLE  
45-DEGREE HORIZONTAL BENDS

Nominal Pipe Size (in)	Depth of Cover (ft)	Restrainted Length (DIP)	Restrainted Length (PVC)
8	4	15	15
10	4	17	18
12	4	20	21
14	4	23	24
16	4	26	27

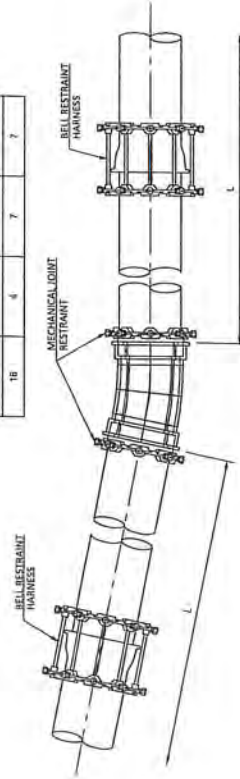


02  
509  
PLAN VIEW  
RESTRAINING 45° BEND  
Scale: N.T.S.

GENERAL NOTES  
1. CONTRACTOR TO FOLLOW ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MECHANICAL JOINT RESTRAINTS AND BELL RESTRAINT HARNESSES.

STANDARD RESTRAINT LENGTH TABLE  
11.25-DEGREE HORIZONTAL BENDS

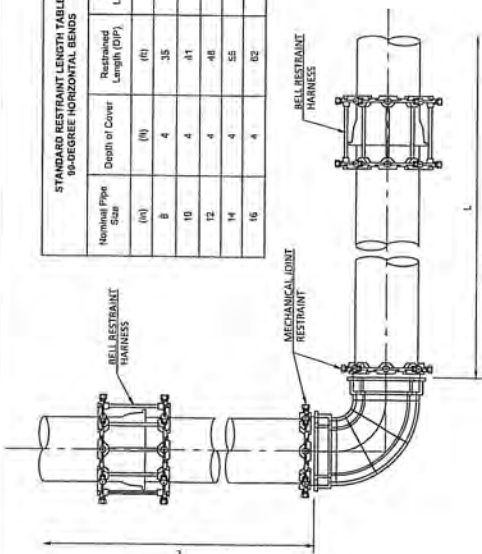
Nominal Pipe Size (in)	Depth of Cover (ft)	Restrainted Length (DIP)	Restrainted Length (PVC)
8	4	4	4
10	4	5	5
12	4	5	5
14	4	6	6
16	4	7	7



04  
509  
PLAN VIEW  
RESTRAINING 11 1/4° BEND  
Scale: N.T.S.

STANDARD RESTRAINT LENGTH TABLE  
90-DEGREE HORIZONTAL BENDS

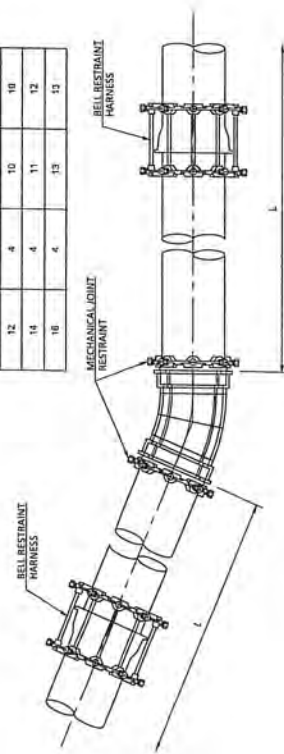
Nominal Pipe Size (in)	Depth of Cover (ft)	Restrainted Length (DIP)	Restrainted Length (PVC)
8	4	35	36
10	4	41	42
12	4	48	50
14	4	55	57
16	4	62	64



01  
509  
PLAN VIEW  
RESTRAINING 90° BEND  
Scale: N.T.S.

STANDARD RESTRAINT LENGTH TABLE  
22.5-DEGREE HORIZONTAL BENDS

Nominal Pipe Size (in)	Depth of Cover (ft)	Restrainted Length (DIP)	Restrainted Length (PVC)
8	4	7	7
10	4	8	8
12	4	10	10
14	4	11	12
16	4	13	13



03  
509  
PLAN VIEW  
RESTRAINING 22 1/2° BEND  
Scale: N.T.S.



DATE: 02/20/2024  
 PREPARED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 02/20/2024  
 PROJECT: [Signature]  
 DATE: 02/20/2024  
 PROJECT: [Signature]

WATER STANDARD DETAILS  
 THRUST RESTRAINTS  
 DETAILS 509.05 TO 509.08

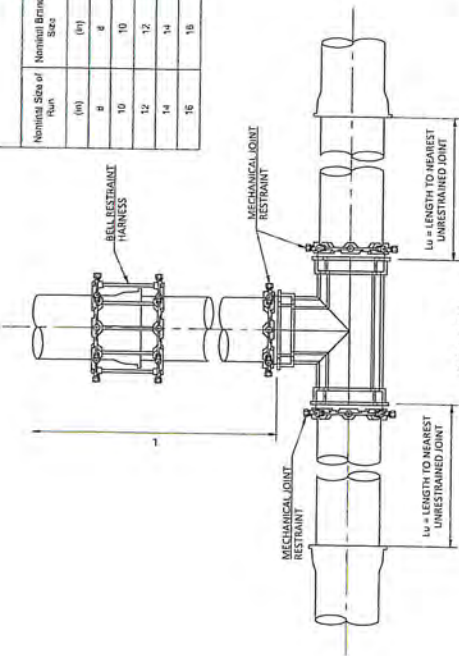
509.B

STANDARD RESTRAINT LENGTH TABLE  
 REDUCERS

Nominal Pipe Size (in)	Minimum Nominal Size of Reducer (in)	Depth of Cover (ft)	Restrainted Length (DIP)	Restrainted Length (PVC)
8	6	4	36	41
10	8	4	36	39
12	8	4	37	73
14	12	4	37	41
16	12	4	69	75

STANDARD RESTRAINT LENGTH TABLE  
 TEES

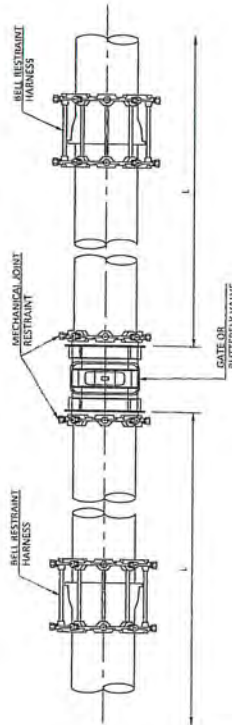
Nominal Size of Run (in)	Nominal Branch Size (in)	Depth of Cover (ft)	Restrainted Length (DIP) (1)	Restrainted Length (PVC) (2)
8	4	4	$L = 89 - (4.89 \cdot L_u)$	$L = 97 - (5.21 \cdot L_u)$
10	4	4	$L = 107 - (4.64 \cdot L_u)$	$L = 117 - (5.27 \cdot L_u)$
12	4	4	$L = 126 - (4.88 \cdot L_u)$	$L = 138 - (5.51 \cdot L_u)$
14	4	4	$L = 144 - (4.92 \cdot L_u)$	$L = 161 - (5.23 \cdot L_u)$
16	4	4	$L = 162 - (4.94 \cdot L_u)$	$L = 178 - (5.40 \cdot L_u)$



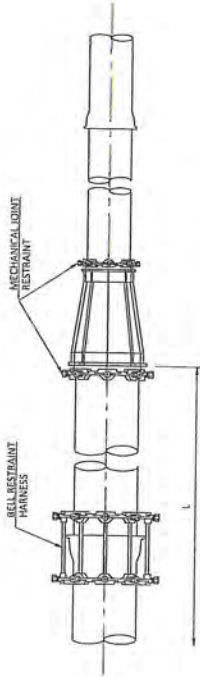
05 509  
**RESTRAINING TEE BEND**  
 Scale: N.T.S.

STANDARD RESTRAINT LENGTH TABLE  
 VALVES

Nominal Pipe Size (in)	Depth of Cover (ft)	Restrainted Length (DIP)	Restrainted Length (PVC)
8	4	69	97
10	4	107	116
12	4	120	137
14	4	144	169
16	4	162	177



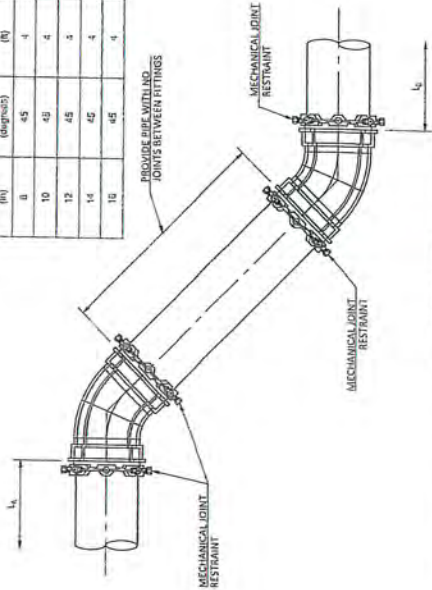
07 509  
**RESTRAINING VALVE CONNECTION**  
 Scale: N.T.S.



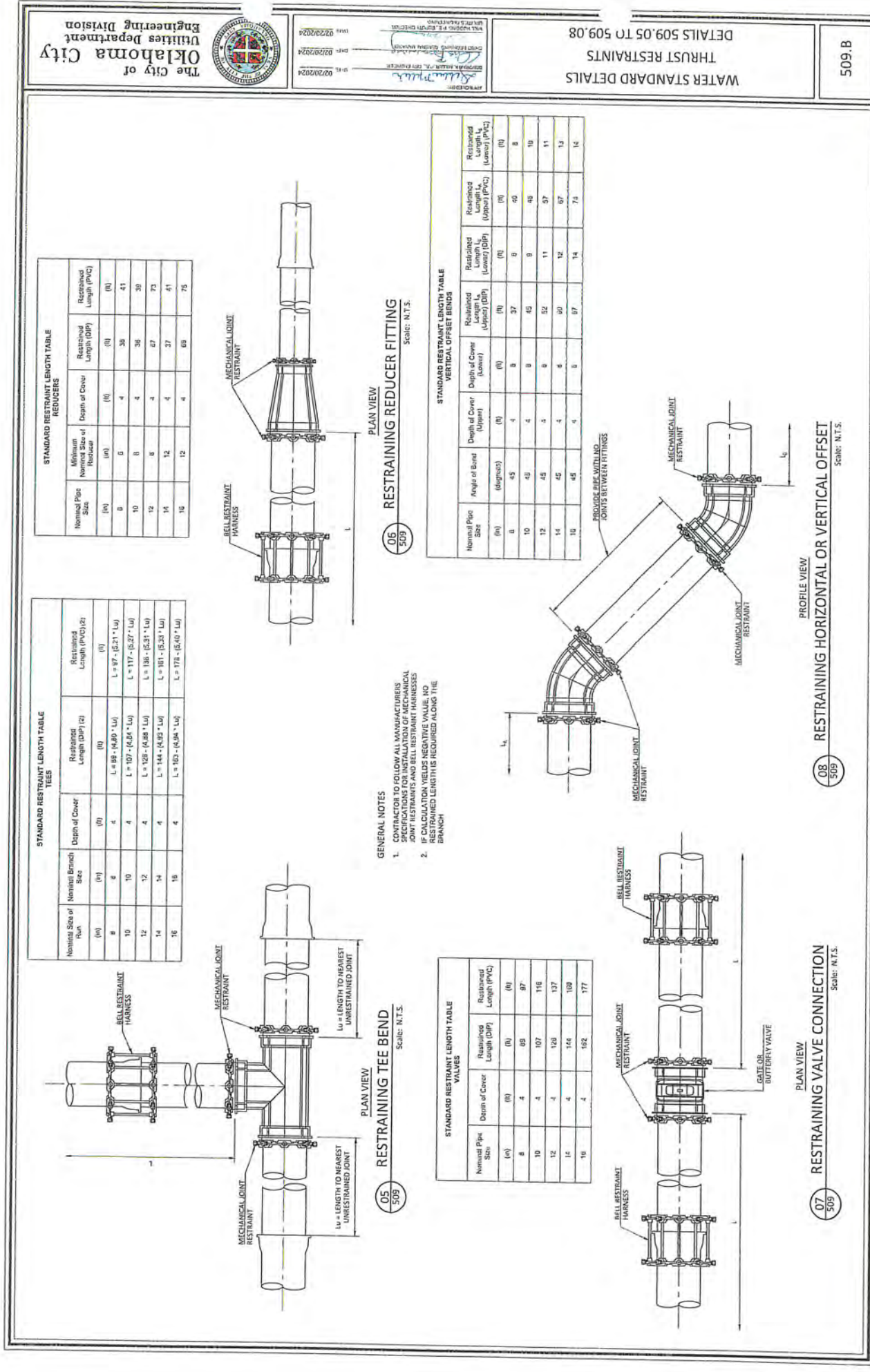
06 509  
**RESTRAINING REDUCER FITTING**  
 Scale: N.T.S.

STANDARD RESTRAINT LENGTH TABLE  
 VERTICAL OFFSET BENDS

Nominal Pipe Size (in)	Angle of Bend (degrees)	Depth of Cover (Offset) (ft)	Restrainted Length (Upper) (DIP)	Restrainted Length (Lower) (DIP)	Restrainted Length (Upper) (PVC)	Restrainted Length (Lower) (PVC)
8	45	4	37	6	60	8
10	45	4	45	9	48	10
12	45	4	50	11	57	11
14	45	4	60	12	67	13
16	45	4	67	14	73	14




08 509  
**RESTRAINING HORIZONTAL OR VERTICAL OFFSET**  
 Scale: N.T.S.





TRANSPORTATION • ENVIRONMENTAL • INFRASTRUCTURE • MUNICIPAL

March 2, 2026

To: Brett Crecelius  
From: Robbie Williams   
Subject: Submittal No. 2 (Final Submittal)  
Bethany Fields  
Final Plat  
Drainage Report  
Paving and Drainage Plans  
Sanitary Sewer Plans  
Waterline Plans  
Hydraulic Analysis for Waterline

We have reviewed the above information and our comments are as follows:

FINAL PLAT

1. We have reviewed the final plat and our comments have been addressed.

DRAINAGE REPORT

1. We have reviewed the drainage report dated March 1, 2026, and recommend approval.

PAVING AND DRAINAGE PLANS

1. We have reviewed the plans dated March 1, 2026, and recommend approval.
2. We will need contractors' contract with price to determine inspection fees and TEIM will issue the work order and TEIM will inspect the public improvements.

SANITAR SEWER PLANS

1. We have reviewed the plans dated March 1, 2026, and recommend approval.
2. Plans need submitted to ODEQ for a permit to construct.
3. We will need contractors' contract with price to determine inspection fees and TEIM will issue the work order and TEIM will inspect the public improvements.

### WATERLINE PLANS

1. We have reviewed the plans dated March 1, 2026, and recommend approval.
2. Plans need submitted to ODEQ for a permit to construct.
3. We will need contractors' contract with price to determine inspection fees and TEIM will issue the work order and TEIM will inspect the public improvements.

### WATERLINE HYDRALIC ANALYSIS FOR WATERLINE

1. The waterline hydraulic analysis was reviewed, and it is acceptable to submit to ODEQ with the engineering report when the permit to construct is submitted.


Let me know if you need additional information.



TRANSPORTATION • ENVIRONMENTAL • INFRASTRUCTURE • MUNICIPAL

February 24, 2026

To: Brett Crecelius

From: Robbie Williams 

Subject: Bethany Fields  
Final Plat  
Drainage Report  
Paving and Drainage Plans  
Sanitary Sewer Plans  
Waterline Plans  
Hydraulic Analysis for Waterline

We have reviewed the above information and our comments are as follows:

#### FINAL PLAT

1. There is one call out that needs changed from 10' UE to 20' UE adjacent to Lot 2 Block 2.
2. Change 10' UE need to add DE around lots 19,20,21 and 22 Lot 1. See paving and drainage comments.
3. Final Plat is attached with comments.

#### DRAINAGE REPORT

1. Paragraph 3.3, last sentence 22.10 does not match 23.10 in Table 1.2
2. Paragraph 4.2.1 will need updated to add curb inlets on Divis and a drainage pipe to the east. The flume opening will not accept the runoff flowing in the new gutter on Divis, ie water does not turn 90 degrees. The existing opening from the existing parking lot was able to block flow with a partial curb to force water to the east through the ball field property. We recommend upsizing the inlet to ensure the stormwater is captured with no bypass.  
An additional inlet just south of NW 39<sup>th</sup> street on Divis will need to have an inlet added and pipe to the proposed detention pond A in the sump. Existing conditions in this area had a flume opening in the parking lot and the water flowed through the ball fields. See paving and drainage comments.
3. Drainage Map C-107 – DA 1 should be extended further to the west to encompass the entire lots on the west side of Divis in analyzing the inlets to be installed in comment 2 above.

#### PAVING AND DRAINAGE PLANS

1. See attached sheet C-104 with comments. At two locations inlets need installed.
2. See attached sheet C202 with comments. Street inlet and not flume opening.

### SANITAR SEWER PLANS

1. Sheet C-201 – change sand backfill to Type “A” Aggregate Base.
2. Update topo for storm sewer changes and addition of storm sewer line. Also, for water change on NW 39<sup>th</sup> street.

### WATERLINE PLANS

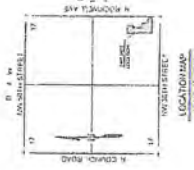
1. Defer location of fire hydrants to Fire Chief.
2. Sheet C-103 – Water General Note 41 – delete sand use Type “A” Aggregate Base.
3. See sheet C-103 for comments on extending waterline on the north side of NW 39<sup>th</sup> and adding 2 additional valves across from Bethany Village.

### WATERLINE HYDRALIC ANALYSIS FOR WATERLINE

1. The waterline hydraulic analysis was reviewed, and it is acceptable to submit to ODEQ with the engineering report when the permit to construct is submitted.

Let me know if you need additional information.

**FINAL PLAT  
OF  
BETHANY FIELDS**  
A PART OF THE SE/4 OF SECTION 17, T12N, R4W, L.4M,  
CITY OF BETHANY, OKLAHOMA COUNTY, OKLAHOMA



- LEGEND**
- 19.0 B POINT OF BEGINNING
  - CA CURVE
  - R/SR ROAD
  - STRAIGHT LINE
  - IRI IRREGULAR INTERSECTION
  - UC UNDER CONSTRUCTION
  - OC OPEN CUT
  - PC PRIVATE DRIVEWAY
  - PCD PRIVATE DRIVEWAY
  - PCD PRIVATE DRIVEWAY
  - PCD PRIVATE DRIVEWAY
  - PCD PRIVATE DRIVEWAY

**USE TABLE**

USE / LUGHS	SECTION
1	12.1
2	12.2
3	12.3
4	12.4
5	12.5
6	12.6
7	12.7
8	12.8
9	12.9
10	13.0

**CURVE TABLE**

CHORD / LUGHS	CHORD BEGINS	CHORD ENDS	CHORD LUGHS
1	12.1	12.1	12.1
2	12.2	12.2	12.2
3	12.3	12.3	12.3
4	12.4	12.4	12.4
5	12.5	12.5	12.5
6	12.6	12.6	12.6
7	12.7	12.7	12.7
8	12.8	12.8	12.8
9	12.9	12.9	12.9
10	13.0	13.0	13.0

**NOTES**

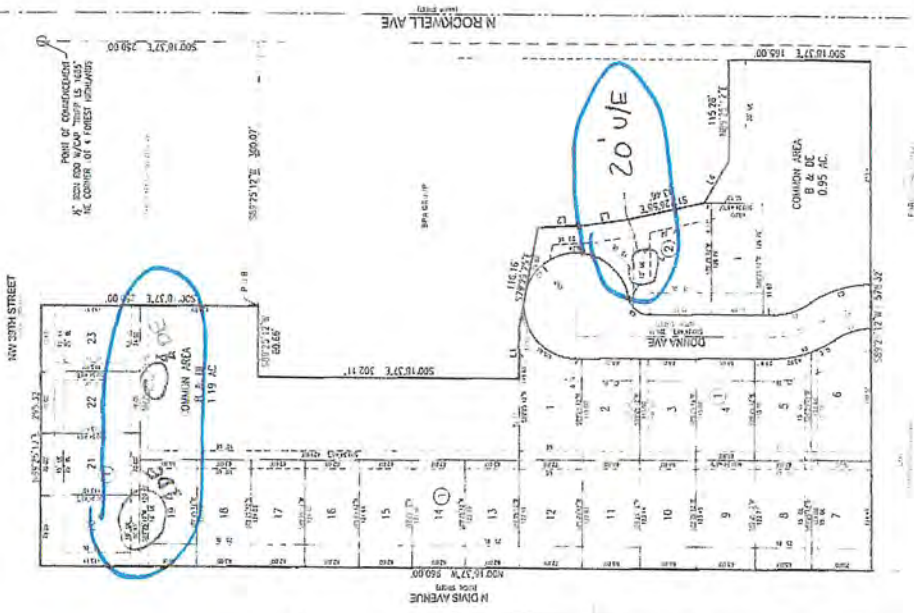
1. This plat is based upon the original survey conducted by the original owner of the land shown hereon.
2. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
3. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
4. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
5. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
6. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
7. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
8. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
9. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.
10. The boundaries shown hereon are based upon the original survey conducted by the original owner of the land shown hereon.

**FINAL PLAT**  
**BETHANY FIELDS**

SHEET NO. 2 OF 2  
DATE: 01/16/20  
DRAWN BY: [Signature]

**Crafton Tull**  
SURVEYING & ENGINEERING  
2500 N. CHURCH AVENUE  
BETHANY, OKLAHOMA 73110  
PHONE: (405) 771-1111  
FAX: (405) 771-1112  
WWW.CRAFTONTULL.COM

MASTER NO. 25612100





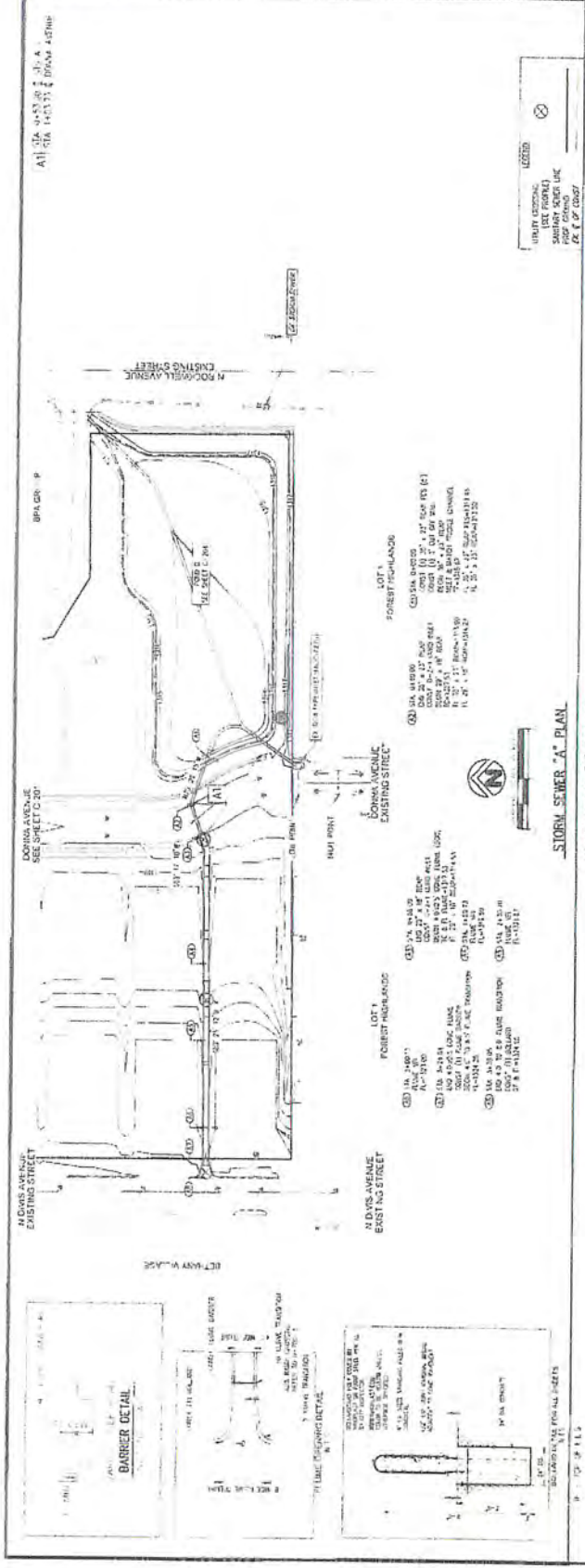


BETHANY FIELDS  
 1701 BETHANY DELAWARE

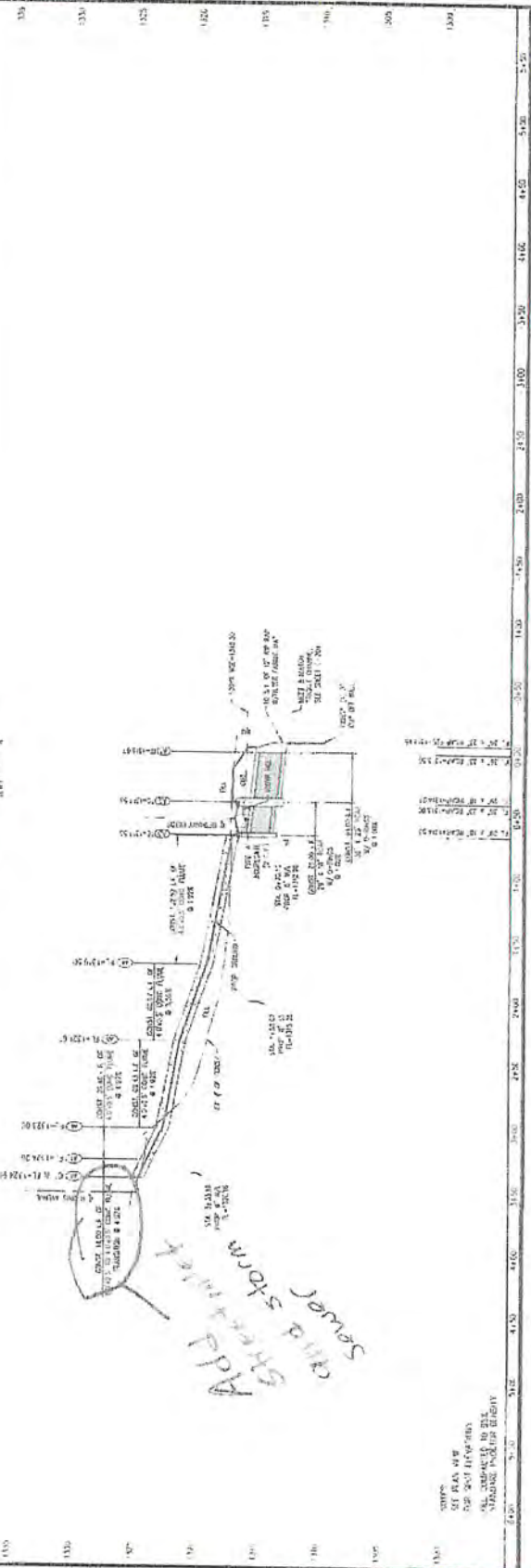
DATE	DESCRIPTION
11/12/2014	PRELIMINARY
11/12/2014	PAAS
11/12/2014	SCHEMATIC A

C-202

STORM SEWER A



STORM SEWER 'A' PROFILE



DATE: 11/12/2014  
 BY: [Name]  
 CHECKED: [Name]  
 SCALE: AS SHOWN



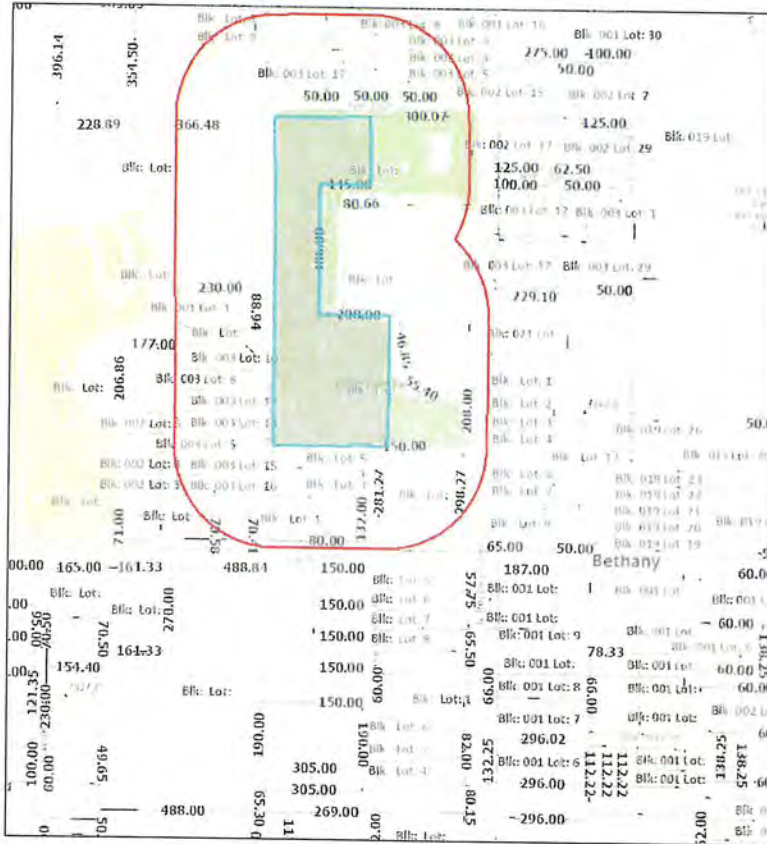


00' RR1726208 0

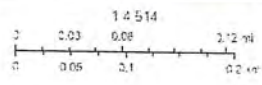
### Area of Interest (AOI) Information

Area : 1,353,657. 5 ft<sup>2</sup>

Oct 23 2025 15:59:02 Central Daylight Time



Tax Parcels  
 Tax Parcel Dimensions  
 Sections



14514  
 0.05 0.1 0.2 mi

Summary

Name	Count	Area(ft <sup>2</sup> )	Length(ft)
Radius Report	62	1,145,383.54	N/A

Radius Report

	accountno	name	name	name3	ma ngaddress1
1	R173406250	SAKURA PRO ERTIES LLC			15412 COLONIA BELLA DR
2	R219451090	YUAN JIAN WEI & SHOU LUNG HUANG FAMILY TRUST			32857 REGENTS BLVD
3	R173580800	SOUTHWESTERN CHRISTIAN	UNIVERSITY INC		7210 NW 39TH EXPY
4	R173406275	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
5	R173406500	BARTEE ENTERPRISES LLC	TILLET ANDREA L		4806 N ASBURY AVE
6	R219451100	YUAN JIAN WEI & SHOU LUNG HUANG FAMILY TRUST			32857 REGENTS BLVD
7	R173406300	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
8	R173406600	BARTEE ENTERPRISES LLC	TILLET LIONEL E & ANDREA TRUST		4806 N ASBURY AVE
9	R173406350	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
10	R173406375	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
11	R173406650	WEST WELBARN WAYNE	WEST STANLEY LYNN	WEST JEFFREY ALLEN	7108 NW 39TH TER
12	R173406780	RYAN KENA SUE	RYAN JERRY RAYMOND	PARKER REGINA MARIE	12109 NW 137TH ST
13	R173406770	J & K FINE PROPERTIES VI LLC			12824 ST ANDREWS DR
14	R173406725	CUNKLE KENDRA			7110 NW 39TH TER
15	R173406760	WALLACE CAROL SUE ETAL	LENTZ GERTRUDE E	RANDALL JEFFREY LYNN	7114 NW 39TH TER
16	R173406750	OBIL PROPERTIES LLC			2904 N DIVIS AVE
17	R173406790	VARGAS JAVIER FARIAS	OVIEDO KAREEN VALENTINA GUZMAN		7120 NW 39TH TER
18	R219451110	JSSB LLC			3101 LAKESHIRE RIDGE WAY
19	R173580900	SOUTHWESTERN CHRISTIAN	UNIVERSITY INC		7210 NW 39TH EXPY
20	R219451260	YUAN KEVIN			8217 57TH PL NE
21	R173407510	BIZAL RODNEY D			7119 NW 39TH ST
22	R173407525	RANDALL DONALD RAY			7113 NW 39TH ST
23	R173407515	MERRELL CHARLES M & CAROLYN S			7211 NW 32ND ST
24	R173407520	WISE DELINDA O GOGGIN			7115 NW 39TH ST
25	R173407530	COOK RHEA ANN RANDALL	RANDALL DONALD R		7111 NW 39TH ST
26	R173408000	PALMER ASA ALLEN ETAL	LENTZ GERTRUDE E	RANDALL JEFFREY LYNN	7109 NW 39TH ST
27	R173408100	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
28	R219451120	JSSB LLC			3101 LAKESHIRE RIDGE WAY
29	R173408110	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
30	R219451130	JSSB LLC			3101 LAKESHIRE RIDGE WAY
31	R219451160	JSFM LLC			22495 LINDY TER
32	R219451250	YUAN RICHARD			4744 CABELLO ST
33	R219451240	JSSB LLC			3101 LAKESHIRE RIDGE WAY
34	R219451230	JSSB LLC			3101 LAKESHIRE RIDGE WAY
35	R219451220	JSSB LLC			3101 LAKESHIRE RIDGE WAY
36	R219451190	JSSB LLC			3101 LAKESHIRE RIDGE WAY

7	R173407500	BR SU AN			7121 NW 39TH ST
38	R172631100	JCC ENTERPRISES OF OKLAHOMA LLC			2420 N EAGLE LN
39	R219451140	JSSB LLC			3101 LAKESHIRE RIDGE WAY
40	R219451150	JSSB LLC			3101 LAKESHIRE RIDGE WAY
41	R219451210	JSSB LLC			3101 LAKESHIRE RIDGE WAY
42	R219451200	JSSB LLC			3101 LAKESHIRE RIDGE WAY
43	R219451170	JSFM LLC			22495 LINDY TER
44	R219451180	JSFM LLC			22495 LINDY TER
45	R219451010	B & C PROPERTY INVESTMENTS LLC			13540 NW 142ND ST
46	R219451000	JSFM LLC			22495 LINDY TER
47	R172631050	YOUNG CHANDLER	HALL HU TER		3706 N DIVIS AVE
48	R219451020	PROGRESSIVE BUSINESS GROUP LLC			3398 E PLUM ST
49	R172631040	BODE DOROTHY JUNE TRS	BODE DOROTHY JUNE LIVING TRUST		7115 NW 36TH ST
50	R172631020	KANELOPOULOS GEORGE J JR & GINA M			5471 EMI RD
51	R172631080	LANDERS KARIN & JAMES			5020 NW 62ND TER
52	R172631060	SARRINGTON RANDY J & TILDA J			3705 N DONNA AVE
53	R172631000	KANELOPOULOS GEORGE JR	KANELOPOULOS GINA		5471 EMI RD
54	R172620400	HERNANDEZ PLACENCIA HAIRO A	HERNANDEZ JESSICA CHRYSTAL		1950 SEGOVIA CIR
55	R172620450	7 ELEVEN INCORPORATED			2021 S MACARTHUR BLVD
56	R172620800	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD
57	R172620910	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD
58	R173829020	SOUTHWESTERN CHRISTIAN	UNIVERSITY INC		7210 NW 39TH EXPY
59	R172620905	CITY OF BETHANY			PO BOX 219
60	R173829010	CITY OF BETHANY			PO BOX 219
61	R172620900	BPA GROUP			PO BOX 1451
62	R172620850	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD

	city	state	ipc de	ck	t	egal	Area(ff <sup>2</sup> )
1	EDMOND	OK	73013	003	000	OAK HILL SUB FOREST HGHLND 003 000 S40FT LOT 2 & N10FT LOT 3	39.23
2	UNION CITY	CA	94587-5410	003	001	BETHANY VILLAGE BLK 003 LOT 001	593.70
3	BETHANY	OK	73008-0340	000	008	PLAINVIEW BETHANY 000 008	1,369.62
4	EDMOND	OK	73013	003	000	OAK HILL SUB FOREST HGHLND 003 000 S40FT LOT 3 & N10FT LOT 4	1,943.22
5	BETHANY	OK	73008	003	007	OAK HILL SUB FOREST HGHLND 003 007	3,385.59
6	UNION CITY	CA	94587-5410	003	002	BETHANY VILLAGE BLK 003 LOT 002	3,676.84
7	EDMOND	OK	73013	003	000	OAK HILL SUB FOREST HGHLND 003 000 S40FT OF LOT 4 & N10FT OF LOT 5	4,097.35
8	BETHANY	OK	73008-2620	003	008	OAK HILL SUB FOREST HGHLND 003 008	4,458.24
9	EDMOND	OK	73013	003	000	OAK HILL SUB FOREST HGHLND 003 000 S40FT LOT 5 & N5FT LOT 6	4,921.08
10	EDMOND	OK	73013	003	006	OAK HILL SUB FOREST HGHLND 003 006 S45FT	4,958.00
11	BETHANY	OK	73008-3261	003	009	OAK HILL SUB FOREST HGHLND 003 009	5,040.71
12	PIEDMONT	OK	73078	003	014	OAK HILL SUB FOREST HGHLND 003 014	5,214.32
13	OKLAHOMA CITY	OK	73120	003	013	OAK HILL SUB FOREST HGHLND 003 013	5,225.96
14	BETHANY	OK	73008	003	010	OAK HILL SUB FOREST HGHLND 003 010	5,231.34
15	BETHANY	OK	73008	003	012	OAK HILL SUB FOREST HGHLND 003 012	5,240.81
16	BETHANY	OK	73008	003	011	OAK HILL SUB FOREST HGHLND 003 011	5,241.60
17	BETHANY	OK	73008-3261	003	015	OAK HILL SUB FOREST HGHLND 003 015	5,476.48
18	EDMOND	OK	73034	003	003	BETHANY VILLAGE BLK 003 LOT 003	5,802.63
19	BETHANY	OK	73008-0340	000	009	PLAINVIEW BETHANY 000 009	5,899.59
20	MARYSVILLE	WA	98270-4522	003	018	BETHANY VILLAGE BLK 003 LOT 018	6,753.72

21	BETHANY	OK	73008-3258	003	017	OAK HILL SUB FOREST HGHLND 003 017	6,754.61
22	BETHANY	OK	73008-3258	003	020	OAK HILL SUB FOREST HGHLND 003 020	6,758.05
23	BETHANY	OK	73008-3803	003	018	OAK HILL SUB FOREST HGHLND 003 018	6,758.81
24	BETHANY	OK	73008-3258	003	019	OAK HILL SUB FOREST HGHLND 003 019	6,766.17
25	BETHANY	OK	73008-3258	003	021	OAK HILL SUB FOREST HGHLND 003 021	6,770.42
26	BETHANY	OK	73008	003	022	OAK HILL SUB FOREST HGHLND 003 022	6,788.33
27	EDMOND	OK	73013	003	023	OAK HILL SUB FOREST HGHLND 003 023	6,807.75
28	EDMOND	OK	73034	003	004	BETHANY VILLAGE BLK 003 LOT 004	6,809.01
29	EDMOND	OK	73013	003	024	OAK HILL SUB FOREST HGHLND 003 024	6,827.35
30	EDMOND	OK	73034	003	005	BETHANY VILLAGE BLK 003 LOT 005	6,874.99
31	EDMOND	OK	73025	003	008	BETHANY VILLAGE BLK 003 LOT 008	6,916.19
32	UNION CITY	CA	94587-4750	003	017	BETHANY VILLAGE BLK 003 LOT 017	6,922.16
33	EDMOND	OK	73034	003	016	BETHANY VILLAGE BLK 003 LOT 016	6,950.00
34	EDMOND	OK	73034	003	015	BETHANY VILLAGE BLK 003 LOT 015	6,977.87
35	EDMOND	OK	73034	003	014	BETHANY VILLAGE BLK 003 LOT 014	7,003.77
36	EDMOND	OK	73034	003	011	BETHANY VILLAGE BLK 003 LOT 011	7,053.30
37	BETHANY	OK	73008	003	016	OAK HILL SUB FOREST HGHLND 003 016	7,147.15
38	OKLAHOMA CITY	OK	73127	000	000	ENGLISH ACRES 000 000 LOT 6 LESS S36.17FT	7,189.58
39	EDMOND	OK	73034	003	006	BETHANY VILLAGE BLK 003 LOT 006	7,452.12
40	EDMOND	OK	73034	003	007	BETHANY VILLAGE BLK 003 LOT 007	7,467.93
41	EDMOND	OK	73034	003	013	BETHANY VILLAGE BLK 003 LOT 013	7,598.23
42	EDMOND	OK	73034	003	012	BETHANY VILLAGE BLK 003 LOT 012	7,615.13
43	EDMOND	OK	73025	003	009	BETHANY VILLAGE BLK 003 LOT 009	7,798.79

44	EDMOND	OK	73025	003	010	BETHANY VILLAGE BLK 003 LOT 010	7,965.42
45	YUKON	OK	73099-8229	001	002	BETHANY VILLAGE BLK 001 LOT 002	8,096.61
46	EDMOND	OK	73025	001	001	BETHANY VILLAGE BLK 001 LOT 001	8,290.15
47	BETHANY	OK	73008	000	000	ENGLISH ACRES 000 000 S36.17FT OF LOT 6 & N43.46FT OF LOT 1	8,720.37
48	GILBERT	AZ	85298-0100	001	003	BETHANY VILLAGE BLK 001 LOT 003	9,679.53
49	BETHANY	OK	73008-3248	000	003	ENGLISH ACRES 000 003	10,554.86
50	KOLOA	HI	96756-9710	000	002	ENGLISH ACRES 000 002	10,779.72
51	OKLAHOMA CITY	OK	73122	000	005	ENGLISH ACRES 000 005	11,885.46
52	BETHANY	OK	73008-3256	000	004	ENGLISH ACRES 000 004	12,254.00
53	KOLOA	HI	96756-9710	000	000	ENGLISH ACRES 000 000 LOT 1 LESS N43.46FT	14,322.98
54	EDMOND	OK	73034-2522	000	000	FORREST HIGHLAND 000 000 PT OF BLK 1(AKA LOT 1) BEG 17FT N & 167FT W OF SE/C BLK 1 TH N281.33FT W105FT S281.27FT E105FT TO BEG SUBJ TO ESMTS OF RECORD	27,460.29
55	OKLAHOMA CITY	OK	73128-1699	000	000	FORREST HIGHLAND 000 000 PT OF BLK 1 BEG 17FT N & 17FT W OF SE/C TH W150FT N281.33FTE150 FT S281.27FT TO BEG SUBJ TO ESMTS OF RECORD	36,152.74
56	OKLAHOMA CITY	OK	73118-4218	002	000	FORREST HIGHLAND 002 000 A TR IN SE/C BEING 208FT E&W & 165FT N&S KNOWN AS TR #2 EXEMPT	39,442.71
57	OKLAHOMA CITY	OK	73118-4218	000	000	FORREST HIGHLAND APT OF LOTS 2 3 & 4 BEG 250FT S & 300FT W OF NE/C OF LOT 4 TH W80.66FT S302.11FT E57.51FT SE116.16FT SELY54.41FT SELY46.85FT SE93.46FT SE55.40FT W104.72FT N225FT W208FT N386FT E145FT S66FT TO BEG	43,393.36

58	BETHANY	OK	73008-0340	000	000	UNPLTD PT SEC 17 12N 4W 000 000 PT SE4 SEC 17 12N 4W BEG AT SE/C PLAINVIEW ADDN TH SLY244.30FT W366.48FT N354.50FT W106.05FT N495.33FT TO S RW 39TH STEXPWY TH SELY293.57FT S532.33FT E180FT TO BEG CONT 5.5155ACRS MORE OR LESS SUBJ TO ESMTS OF RECORD	51,647.93
59	BETHANY	OK	73008	000	000	FORREST HIGHLAND 000 000 BEG NE/C BLK 4 S250FT W300.07FT N250FT E300.07FT TO BEG KNOWN AS TR # 3 EXEMPT	76,673.10
60	BETHANY	OK	73008	000	000	UNPLTD PT SEC 17 12N 4W 000 000 PT OF SE4 17 12 4W BEG 30FT E & 33FT N OF SW/C OF SE4 TH N1163.74FT E140.30FT N300.13FT SWLY 138.73FT N617.61FT SELY 864.52FT S659.02FT E1105.93FT S469.28FT W230FT S160FT W177FT S600.01FT W1510.25 TO BEG EXEMPT	116,321.42
61	BETHANY	OK	73008	000	000	FORREST HIGHLAND A PT OF LOTS 2 3 & 4 BEG 250FT S & 17FT W OF NE/C OF LOT 4 TH S545FT W115.28FT NW55.40FT NW93.46FT NWLY46.85FT NWLY64.41FT NW116.16FT W57.51FT N302.11FT E363.66FT TO BEG	163,601.26
62	OKLAHOMA CITY	OK	73118-4218	000	000	FORREST HIGHLAND 000 000 LOTS 2 3 & 4 EX TRS 1 2 & 3 EXEMPT	241,563.93

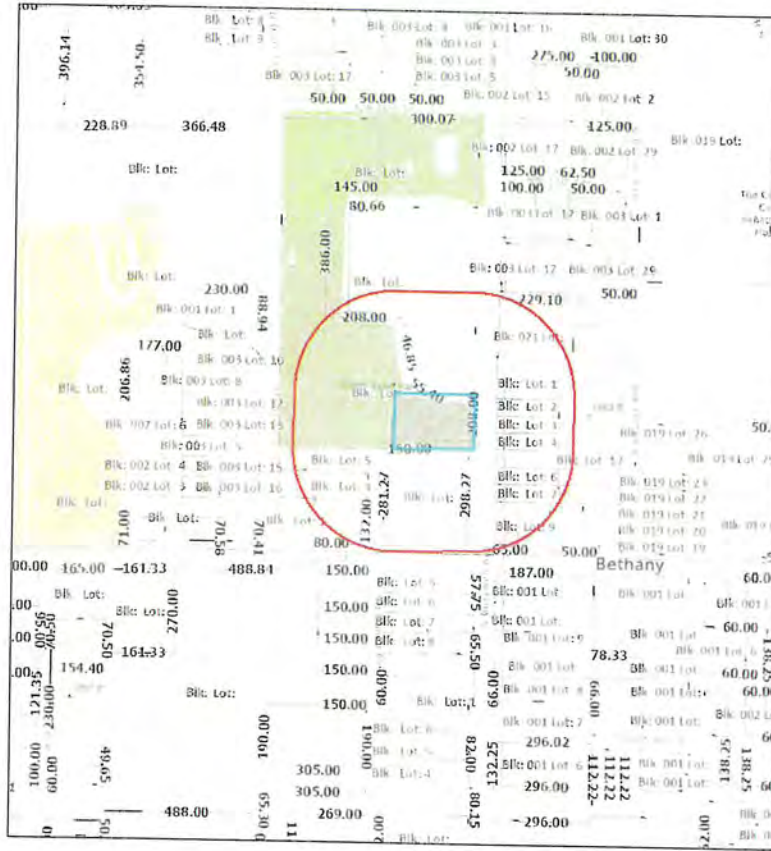


### 300' R172620800

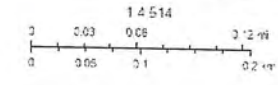
#### Area of Interest (AOI) Information

Area : 564,782.17 ft<sup>2</sup>

Oct 23 2025 16:00:34 Central Daylight Time



Tax Parcels  
 Tax Parcel Dimensions  
 Sections



14 514  
 0 0.05 0.1 0.2 mi  
 10/23/25 16:00:34 Central Daylight Time  
 300' R172620800  
 Area of Interest (AOI) Information  
 Area : 564,782.17 ft<sup>2</sup>  
 Oct 23 2025 16:00:34 Central Daylight Time

Summary

Name	Count	Area(ft <sup>2</sup> )	Length(ft)
Radius Report	33	484,439.71	N/A

Radius Report

#	accountno	name1	name2	name3	mailingaddress1
1	R170150850	CITY OF BETHANY			PO BOX 219
2	R172631000	KANELOPOULOS GEORGE JR	KANELOPOULOS GINA		5471 EMI RD
3	R170151200	HODGE JAMES L	HODGE JANELLE ALLISON		7013 NW 36TH ST
4	R170151600	DELAO MAGDALENO MAURICIO			3705 N BEAVER AVE
5	R170151700	CHILDRENS CENTER INC			6800 NW 39TH EXPY
6	R170152100	J & P UNITED LLC		C/O PAUL & JANA MOTLEY	3131 N EAGLE LN
7	R170151800	J & P UNITED LLC			3131 N EAGLE LN
8	R170151100	LONG ELIZABETH KIM DANIELS			PO BOX 309
9	R172631050	YOUNG CHANDLER	HALL HUNTER		3706 N DIVIS AVE
10	R170129380	ALLEN DALE G & HELEN J			3807 N BEAVER AVE
11	R172631100	JCC ENTERPRISES OF OKLAHOMA LLC			2420 N EAGLE LN
12	R170151000	KRATZ DAVID J & JEANNE M			3700 N ROCKWELL AVE
13	R170152150	SCHLEGEL BENJAMIN	CHRISMAN VICTORIA		3801 N BEAVER AVE
14	R172631020	KANELOPOULOS GEORGE J JR & GINA M			5471 EMI RD
15	R170150900	KRATZ DAVID J & JEANNE M			3700 N ROCKWELL AVE
16	R170150300	JDP LLC RIKER SUBDIVISION SERIES			10912 NW 26TH ST
17	R170150400	BTM PROPERTIES LLC			14520 CHAMBERY CT
18	R170150600	NGUYEN TO VAN	ANH NGUYEN LONG		3710 N ROCKWELL AVE
19	R170150700	BREWER & ASSOCIATES PROPERTY LLC			1530 SW 119TH ST, Unit 103
20	R170150800	THORESON DONALD MELVIN			3704 N ROCKWELL AVE
21	R170150600	BYNUM OLIVE JEWEL TRS	BYNUM OLIVE JEWEL LIVING TRUST		3708 N ROCKWELL AVE
22	R170150200	GENERATIONAL INVESTMENT PROPERTIES LLC	C/O BRIAN DICKEY		211 NW 67TH ST
23	R172631040	BODE DOROTHY JUNE TRS	BODE DOROTHY JUNE LIVING TRUST		7115 NW 36TH ST
24	R172631080	LANDERS KARIN & JAMES			5020 NW 62ND TER
25	R172631060	SARRINGTON RANDY J & TILDA J			3705 N DONNA AVE
26	R172620910	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD
27	R170129400	SHORT JANET			3810 N ROCKWELL AVE
28	R170129382	GUTIERREZ VELASCO FRANCISCO J	RUIZ DIAZ AMICELI Y		3806 N ROCKWELL AVE
29	R172620400	HERNANDEZ PLACENCIA HAIRO A	HERNANDEZ JESSICA CHRYS TAL		1950 SEGOVIA CIR
30	R172620450	7 ELEVEN INCORPORATED			2021 S MACARTHUR BLVD
31	R172620800	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD
32	R172620900	BPA GROUP			PO BOX 1451
33	R172620850	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD

#	city	state	zipcode	block	lot	legal	Area(ft²)
1	BETHANY	OK	73008	000	000	RIKER SUB BLK 20 000 000 W7FT OF LOT 7 EXEMPT	352.43
2	KOLOA	HI	96756-9710	000	000	ENGLISH ACRES 000 000 LOT 1 LESS N43.46FT	454.48
3	BETHANY	OK	73008	000	000	RIKER SUB BLK 20 000 000 LOT 11 EX S7FT	501.32
4	BETHANY	OK	73008-3331	000	015	RIKER SUB BLK 20 000 015	706.80
5	BETHANY	OK	73008-2513	000	016	RIKER SUB BLK 20 000 016	1,639.35
6	BETHANY	OK	73008	000	000	RIKER SUB BLK 20 000 000 N30FT LOT 18 & S30FT LOT 19	2,717.13
7	BETHANY	OK	73008	000	000	RIKER SUB BLK 20 000 000 LOT 17 & S20FT LOT 18	2,998.09
8	CHANDLER	OK	74834	000	010	RIKER SUB BLK 20 000 010	3,099.71
9	BETHANY	OK	73008	000	000	ENGLISH ACRES 000 000 S36.17FT OF LOT 6 & N43.46FT OF LOT 1	3,390.30
10	BETHANY	OK	73088	021	000	BETHANY CITY ADD 021 000 S92FT OF E189.55FT EX N30FT OF E150FT PLUS N28.5FT LOT 19 RIKER SUB BLK 20	3,442.05
11	OKLAHOMA CITY	OK	73127	000	000	ENGLISH ACRES 000 000 LOT 6 LESS S36.17FT	4,035.12
12	BETHANY	OK	73008-3349	000	000	RIKER SUB BLK 20 000 000 LOT 9 EX S7FT	5,031.88
13	BETHANY	OK	73008	000	019	RIKER SUB BLK 20 BLK 000 LOT 000 LOT 19 EX N28FT & EX S30FT	5,683.60
14	KOLOA	HI	96756-9710	000	002	ENGLISH ACRES 000 002	6,295.29
15	BETHANY	OK	73008-3349	000	008	RIKER SUB BLK 20 000 008	8,609.19
16	YUKON	OK	73099	000	002	RIKER SUB BLK 20 000 002 S50FT	9,218.83
17	YUKON	OK	73099	000	003	RIKER SUB BLK 20 000 003	9,358.38
18	BETHANY	OK	73008	000	004	RIKER SUB BLK 20 000 004	9,398.95
19	OKLAHOMA CITY	OK	73170	000	006	RIKER SUB BLK 20 000 006	9,477.88
20	BETHANY	OK	73008	000	000	RIKER SUB BLK 20 000 000 LOT 7 EX W7FT	9,513.11
21	BETHANY	OK	73008-3349	000	005	RIKER SUB BLK 20 000 005	9,514.08
22	OKLAHOMA CITY	OK	73116-8247	000	000	RIKER SUB BLK 20 000 000 S36.24FT LOT 1 EX W7FT & N14.24FT LOT 2 EX W7FT	9,846.62
23	BETHANY	OK	73008-3248	000	003	ENGLISH ACRES 000 003	10,049.46

24	OKLAHOMA CITY	OK	73122	000	005	ENGLISH ACRES 000 005	11,885.46
25	BETHANY	OK	73008-3256	000	004	ENGLISH ACRES 000 004	12,254.00
26	OKLAHOMA CITY	OK	73118-4218	000	000	FORREST HIGHLAND A PT OF LOTS 2 3 & 4 BEG 250FT S & 300FT W OF NE/C OF LOT 4 TH W80.66FT S302.11FT E57.51FT SE116.16FT SELY54.41FT SELY46.85FT SE93.46FT SE55.40FT W104.72FT N225FT W208FT N386FT E145FT S66FT TO BEG	13,698.72
27	BETHANY	OK	73008	021	000	BETHANY CITY ADD 021 000 PRT OF BLK 21 BEG NW/C E&W 229.1FT & N&S 120FT EX N12FT	14,946.95
28	BETHANY	OK	73008	021	000	BETHANY CITY ADD 021 000 N28FT LOT 1 RIKERS SUB & S92FT OF W189.55FT BLK 21	21,899.97
29	EDMOND	OK	73034-2522	000	000	FORREST HIGHLAND 000 000 PT OF BLK 1(AKA LOT 1) BEG 17FT N & 167FT W OF SE/C BLK 1 TH N281.33FT W105FT S281.27FT E105FT TO BEG SUBJ TO ESMTS OF RECORD	27,460.29
30	OKLAHOMA CITY	OK	73128-1699	000	000	FORREST HIGHLAND 000 000 PT OF BLK 1 BEG 17FT N & 17FT W OF SE/C TH W150FT N281.33FTE150 FT S281.27FT TO BEG SUBJ TO ESMTS OF RECORD	38,459.37
31	OKLAHOMA CITY	OK	73118-4218	002	000	FORREST HIGHLAND 002 000 A TR IN SE/C BEING 208FT E&W & 165FT N&S KNOWN AS TR #2 EXEMPT	39,442.71
32	BETHANY	OK	73008	000	000	FORREST HIGHLAND A PT OF LOTS 2 3 & 4 BEG 250FT S & 17FT W OF NE/C OF LOT 4 TH S545FT W116.28FT NW55.40FT NW93.46FT NWLY46.85FT NWLY54.41FT NW116.16FT W57.51FT N302.11FT E363.66FT TO BEG	70,300.78

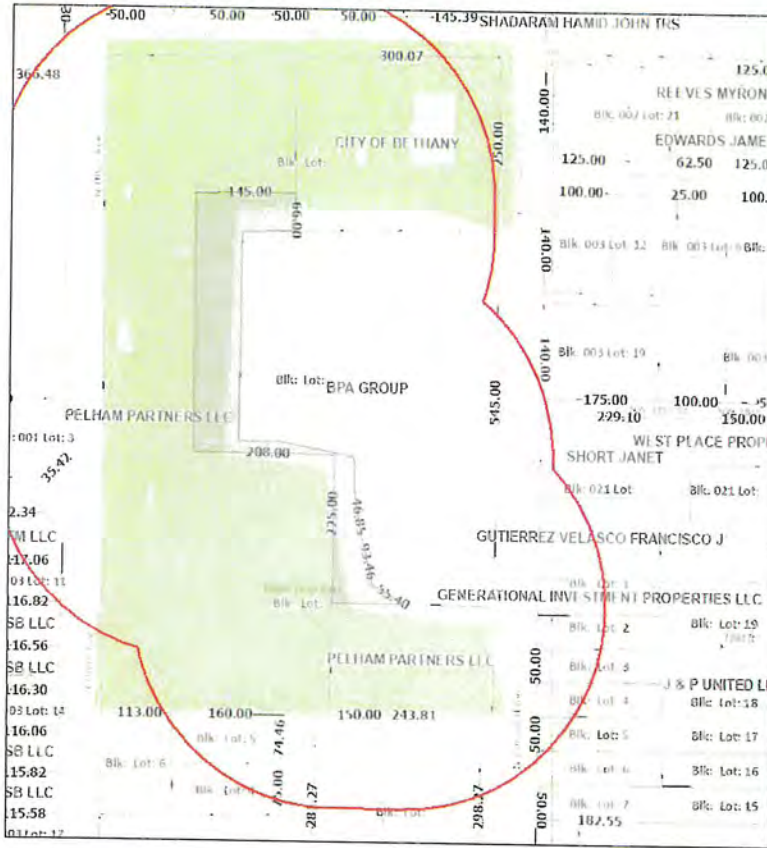
33	OKLAHOMA CITY	OK	73118-4218	000	000	FORREST HIGHLAND 000 000 LOTS 2 3 & 4 EX TRS 1 2 & 3 EXEMPT	108,757.42
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# 300' Radius Report 710512502423

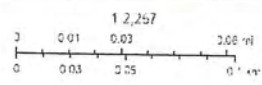
## Area of Interest (AOI) Information

Area : 854,259.04 ft<sup>2</sup>

Oct 23 2025 14:46:40 Central Daylight Time



— Tax Parcels  
 — Tax Parcel Dimensions  
 — Sections



2025 OCT 23 14:46:40  
 710512502423  
 300' RADIUS REPORT  
 2025 OCT 23 14:46:40  
 710512502423  
 300' RADIUS REPORT

Summary

Name	Count	Area(ft <sup>2</sup> )	Length(ft)
Radius Report	35	716,454.75	N/A

Radius Report

#	accountno	name1	name2	name3	mailingaddress1
1	R170307000	THE CHILDRENS CENTER INC			6800 NW 39TH EXPY
2	R219451200	JSSB LLC			3101 LAKESHIRE RIDGE WAY
3	R172631100	JCC ENTERPRISES OF OKLAHOMA LLC			2420 N EAGLE LN
4	R170150700	BREWER & ASSOCIATES PROPERTY LLC			1530 SW 119TH ST, Unit 103
5	R173408110	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
6	R173407500	BROWN SUSAN			7121 NW 39TH ST
7	R173408100	SAKURA PROPERTIES LLC			15412 COLONIA BELLA DR
8	R173829020	SOUTHWESTERN CHRISTIAN	UNIVERSITY INC		7210 NW 39TH EXPY
9	R173407510	BIZAL RODNEY D			7119 NW 39TH ST
10	R170150600	BYNUM OLIVE JEWEL TRS	BYNUM OLIVE JEWEL LIVING TRUST		3708 N ROCKWELL AVE
11	R173408000	PALMER ASA ALLEN ETAL	LENTZ GERTRUDE E	RANDALL JEFFREY LYNN	7109 NW 39TH ST
12	R219451190	JSSB LLC			3101 LAKESHIRE RIDGE WAY
13	R173407515	MERRELL CHARLES M & CAROLYN S			7211 NW 32ND ST
14	R219451010	B & C PROPERTY INVESTMENTS LLC			13540 NW 142ND ST
15	R173407520	WISE DELINDA O GOGGIN			7115 NW 39TH ST
16	R173407530	COOK RHEA ANN RANDALL	RANDALL DONALD R		7111 NW 39TH ST
17	R173407525	RANDALL DONALD RAY			7113 NW 39TH ST
18	R170129400	SHORT JANET			3810 N ROCKWELL AVE
19	R172631060	SARRINGTON RANDY J & TILDA J			3705 N DONNA AVE
20	R170150500	NGUYEN TO VAN	ANH NGUYEN LONG		3710 N ROCKWELL AVE
21	R170150400	BTM PROPERTIES LLC			14520 CHAMBERY CT
22	R219451180	JSFM LLC			22495 LINDY TER
23	R170150300	JDP LLC RIKER SUBDIVISION SERIES			10912 NW 26TH ST
24	R170150200	GENERATIONAL INVESTMENT PROPERTIES LLC	C/O BRIAN DICKEY		211 NW 67TH ST
25	R170129382	GUTIERREZ VELASCO FRANCISCO J	RUIZ DIAZ AMICELI Y		3806 N ROCKWELL AVE
26	R219451020	PROGRESSIVE BUSINESS GROUP LLC			3398 E PLUM ST
27	R172631080	LANDERS KARIN & JAMES			5020 NW 62ND TER
28	R172820400	HERNANDEZ PLACENCIA HAIRO A	HERNANDEZ JESSICA CHRYSTAL		1950 SEGOVIA CIR
29	R172820450	7 ELEVEN INCORPORATED			2021 S MACARTHUR BLVD
30	R172820800	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD
31	R172820910	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD
32	R173829010	CITY OF BETHANY			PO BOX 219
33	R172620905	CITY OF BETHANY			PO BOX 219
34	R172820900	BPA GROUP			PO BOX 1451
35	R172620850	PELHAM PARTNERS LLC			5400 N CLASSEN BLVD

#	city	state	zipcode	block	lot	legal	Area(ft <sup>2</sup> )
1	BETHANY	OK	73008-2513	003	000	ROBERTS SUB BLK 21 003 000 LOTS 16 THRU 22	1.18
2	EDMOND	OK	73034	003	012	BETHANY VILLAGE BLK 003 LOT 012	5.51
3	OKLAHOMA CITY	OK	73127	000	000	ENGLISH ACRES 000 000 LOT 6 LESS S36.17FT	78.42
4	OKLAHOMA CITY	OK	73170	000	006	RIKER SUB BLK 20 000 006	115.00
5	EDMOND	OK	73013	003	024	OAK HILL SUB FOREST HGHLND 003 024	366.39
6	BETHANY	OK	73008	003	016	OAK HILL SUB FOREST HGHLND 003 016	1,024.93
7	EDMOND	OK	73013	003	023	OAK HILL SUB FOREST HGHLND 003 023	1,340.70
8	BETHANY	OK	73008-0340	000	000	UNPLTD PT SEC 17 12N 4W 000 000 PT SE4 SEC 17 12N 4W BEG AT SE/C PLAINVIEW ADDN TH SLY244.30FT W366.48FT N354.50FT W105.05FT N495.33FT TO S R/W 38TH STEXPWY TH SELY293.57FT S532.33FT E180FT TO BEG CONT 5.5155ACRS MORE OR LESS SUBJ TO ESMTS OF RECORD	1,361.09
9	BETHANY	OK	73008-3258	003	017	OAK HILL SUB FOREST HGHLND 003 017	1,726.68
10	BETHANY	OK	73008-3349	000	005	RIKER SUB BLK 20 000 005	1,860.22
11	BETHANY	OK	73008	003	022	OAK HILL SUB FOREST HGHLND 003 022	1,882.80
12	EDMOND	OK	73034	003	011	BETHANY VILLAGE BLK 003 LOT 011	1,910.05
13	BETHANY	OK	73008-3803	003	018	OAK HILL SUB FOREST HGHLND 003 018	2,012.60
14	YUKON	OK	73099-8229	001	002	BETHANY VILLAGE BLK 001 LOT 002	2,029.12
15	BETHANY	OK	73008-3258	003	019	OAK HILL SUB FOREST HGHLND 003 019	2,044.85
16	BETHANY	OK	73008-3258	003	021	OAK HILL SUB FOREST HGHLND 003 021	2,046.32
17	BETHANY	OK	73008-3258	003	020	OAK HILL SUB FOREST HGHLND 003 020	2,047.33

18	BETHANY	OK	73008	021	000	BETHANY CITY ADD 021 000 PRT OF BLK 21 BEG NW/C E&W 229.1FT & N&S 120FT EX N12FT	2,965.16
19	BETHANY	OK	73008-3256	000	004	ENGLISH ACRES 000 004	3,418.34
20	BETHANY	OK	73008	000	004	RIKER SUB BLK 20 000 004	3,475.15
21	YUKON	OK	73099	000	003	RIKER SUB BLK 20 000 003	4,473.08
22	EDMOND	OK	73025	003	010	BETHANY VILLAGE BLK 003 LOT 010	4,915.91
23	YUKON	OK	73099	000	002	RIKER SUB BLK 20 000 002 S50FT	4,954.09
24	OKLAHOMA CITY	OK	73116-8247	000	000	RIKER SUB BLK 20 000 000 S36.24FT LOT 1 EX W7FT & N14.24FT LOT 2 EX W7FT	5,380.44
25	BETHANY	OK	73008	021	000	BETHANY CITY ADD 021 000 N28FT LOT 1 RIKERS SUB & S92FT OF W189.55FT BLK 21	9,677.81
26	GILBERT	AZ	85298-0100	001	003	BETHANY VILLAGE BLK 001 LOT 003	9,679.53
27	OKLAHOMA CITY	OK	73122	000	005	ENGLISH ACRES 000 005	10,375.19
28	EDMOND	OK	73034-2522	000	000	FORREST HIGHLAND 000 000 PT OF BLK 1(AKA LOT 1) BEG 17FT N & 167FT W OF SE/C BLK 1 TH N281.33FT W105FT S281.27FT E105FT TO BEG SUBJ TO ESMTS OF RECORD	13,796.05
29	OKLAHOMA CITY	OK	73128-1699	000	000	FORREST HIGHLAND 000 000 PT OF BLK 1 BEG 17FT N & 17FT W OF SE/C TH W150FT N281.33FTE150 FT S281.27FT TO BEG SUBJ TO ESMTS OF RECORD	19,399.72
30	OKLAHOMA CITY	OK	73118-4218	002	000	FORREST HIGHLAND 002 000 A TR IN SE/C BEING 208FT E&W & 165FT N&S KNOWN AS TR #2 EXEMPT	39,442.71

31	OKLAHOMA CITY	OK	73118-4218	000	000	FORREST HIGHLAND A PT OF LOTS 2 3 & 4 BEG 250FT S & 300FT W OF NE/C OF LOT 4 TH W80.66FT S302.11FT E57.51FT SE116.16FT SELY54.41FT SELY46.85FT SE93.46FT SE55.40FT W104.72FT N225FT W208FT N386FT E145FT S66FT TO BEG	43,393.36
32	BETHANY	OK	73008	000	000	UNPLTD PT SEC 17 12N 4W 000 000 PT OF SE4 17 12 4W BEG 30FT E & 33FT N OF SW/C OF SE4 TH N1183.74FT E140.30FT N300.13FT SWLY 138.73FT N617.61FT SELY 864.52FT S559.02FT E1105.93FT S469.28FT W230FT S160FT W177FT S600.01FT W1510.25 TO BEG EXEMPT	47,050.61
33	BETHANY	OK	73008	000	000	FORREST HIGHLAND 000 000 BEG NE/C BLK 4 S250FT W300.07FT N250FT E300.07FT TO BEG KNOWN AS TR # 3 EXEMPT	71,797.55
34	BETHANY	OK	73008	000	000	FORREST HIGHLAND A PT OF LOTS 2 3 & 4 BEG 250FT S & 17FT W OF NE/C OF LOT 4 TH S545FT W115.28FT NW55.40FT NW93.46FT NWLY46.85FT NWLY54.41FT NW116.16FT W57.51FT N302.11FT E363.66FT TO BEG	166,170.81
35	OKLAHOMA CITY	OK	73118-4218	000	000	FORREST HIGHLAND 000 000 LOTS 2 3 & 4 EX TRS 1 2 & 3 EXEMPT	234,236.06

## NOTICE OF PUBLIC HEARING

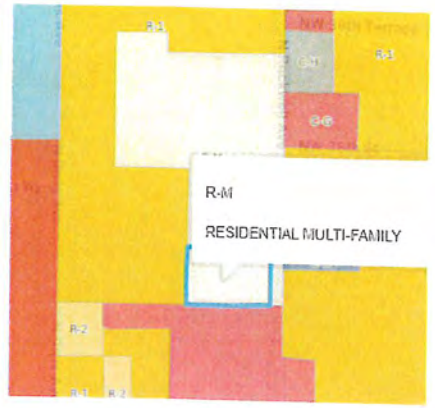
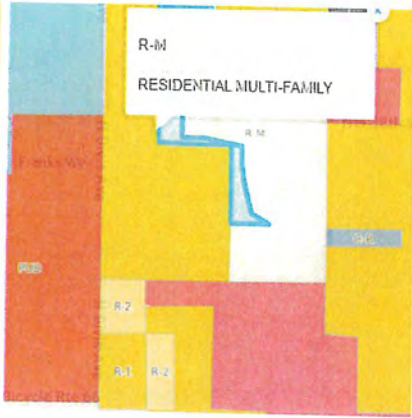
On March 5th, 2026, at 6:30 p.m. the Bethany Planning and Zoning Commission will during its regular session hold a public hearing at Bethany City Hall, 6700 N.W. 36<sup>th</sup> St., Bethany, OK 73008 for the following: Consider a final plat request from Loyd Spaugy, Agent for Owner Pelham Partners, LLC and Michael Love, Property Owner to subdivide 7.58 acres into 25 lots located NW of the intersection of N. Rockwell Ave. and NW 36th Street and East Divis Ave.

Following the public hearing the Bethany Planning & Zoning Commission will vote on the request and forward a recommendation to the Bethany City Council, which in turn will hear this case on March 17<sup>th</sup>, 2026, at 6:30 p.m. At that meeting a second public hearing will be held and following the hearing the Council will vote to approve or deny the request.

We would like to emphasize that the Planning and Zoning Commission does not make the final decision on whether or not to approve the application; it simply makes recommendations on development matters to the City Council. The final decision is made by the City Council in a second hearing. A rezone and preliminary plat were previously approved by the City Council (**PC 25-13 and PC 25-22**).

The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not the necessary accommodation.

LEGAL DESCRIPTION: Lots Two (2), Three (3) and Four (4), in FOREST HIGHLANDS, an addition in Oklahoma County, Oklahoma according to the recorded plat thereof.



# BETHANY

Oklahoma

Department of Planning & Community Development

February 13<sup>th</sup>, 2026

NOTICE OF HEARING

PLANNING & ZONING COMMISSION  
AND CITY COUNCIL

Dear Property Owner:

This notice is to inform you that a neighboring property owner has filed an application with the Bethany Community Development Department to subdivide their property. All subdivision applications within the city limits are reviewed by the Planning and Zoning Commission at a public hearing to determine whether the proposal is in conformity with the Comprehensive Plan for the City of Bethany.

We would like to emphasize that the Planning and Zoning Commission does not make the final decision on whether or not to approve the application; it simply makes recommendations on development matters to the City Council. The final decision is made by the City Council in a second hearing. A rezone and preliminary plat were previously approved by the City Council (PC 25-13 and PC 25-22).

Attached to this notice is information on the hearing dates, the location of the property, and the zoning category, and the number of lots. During the public hearings the applicant for the subdivision presents their case, and all interested property owners in the surrounding area are invited to appear and state whether they are for or against the proposed subdivision.

If you have any questions regarding this notice, please contact the Community Development Director at (405) 789-6005.

SECRETARY  
PLANNING AND ZONING COMMISSION

## PLAT APPROVAL INFORMATION

A. Platting Proposal

1. Case No.: PC 26-09
2. Location of Property: NW of the intersection at N. Rockwell Ave & NW 36<sup>th</sup> Street, and East of Divis Ave.
3. Legal Description: Lots Two (2), Three (3) and Four (4), in FOREST HIGHLANDS, an addition in Oklahoma County, Oklahoma according to the recorded plat thereof;
4. Name of Applicant: Loyd Spaugy
5. Name of Subdivision: Bethany Fields
6. Number of lots proposed: 25
7. Present Zoning: PUD (Planned Unit Development)
8. Preliminary or Final Plat?: Final

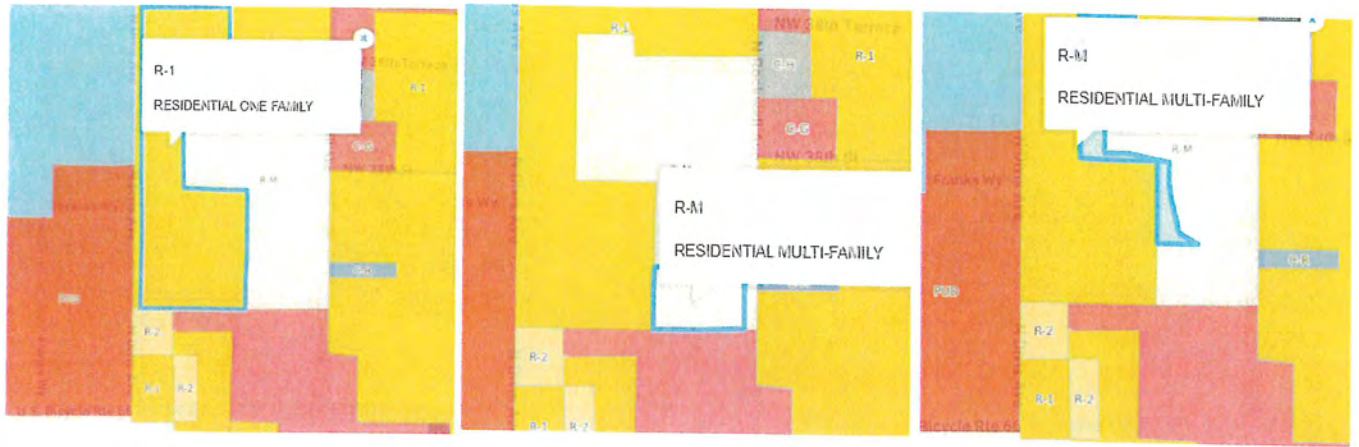
B. Hearing Schedule

1. The Planning and Zoning Commission hearing on the final plat will be held on March 5th, 2026, at 6:30 P.M. At this hearing, any interested citizen will have the opportunity to speak to the Commission concerning this item. The Commission will vote on whether to approve, approve conditionally, or disapprove the final plat at this meeting. IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS MEETING.

2. The City Council hearing on the final plat will be held on March 17th, 2026, at 6:30 P.M. At this hearing, any interested citizen will have the opportunity to speak to the City Council concerning this item. The City Council will vote on whether to approve, approve conditionally, or disapprove the final plat at this meeting. IF YOU HAVE AN OPINION ON THE APPLICATION, YOU SHOULD ATTEND THIS MEETING.

C. Location of Hearings.

Both the Planning & Zoning Commission and City Council hearings are held in the Council Chambers of Bethany City Hall, 6700 N.W. 36th St., Bethany, OK.



CITY OF BETHANY

405-789-2146

\*\*\*\*\* REPRINT RECEIPT\*\*\*\*\*

REC#: 01406064 2/10/2026 10:35 AM  
OPER: ao TERM: 013  
REF#: 1419

TRAN: 540.0000 COMM DEV RECEIPTS  
FINAL PLOT BETHANY FIELDS  
010-39010

MISCELLANEOUS REVEN 625.00CR

TENDERED: 625.00 CHECK  
APPLIED: 625.00-

CHANGE:            0.00

\*\*\* CITY HALL WILL BE CLOSED\*\*\*  
MONDAY FEBRUARY 16TH IN OBSERVANCE OF  
PRESIDENTS DAY. TRASH MAKE UP DAY  
WILL BE WED FEB THE 18TH.

\*\*\*\*\* REPRINT RECEIPT\*\*\*\*\*  
REC#: 01408717      2/20/2026      1:00 PM  
OPER: ao      TERM: 003  
REF#: 1441

TRAN: 540.0000      COMM DEV RECEIPTS  
                    BETHANY FIELDS PUBLIC HEARING  
                    FEE,  
                    010-39010  
                    MISCELLANEOUS REVEN      150.00CR

TENDERED:      150.00      CHECK  
APPLIED:      150.00-  
CHANGE:                  
                    0.00

\*\*\* 2026 BIG TRASH PICK UP\*\*\*  
MARCH 2ND, CITY CREWS WILL START ON THE  
NORTH SIDE OF TOWN AND WORK SOUTH. ITEMS  
SHOULD BE OUT BY 6 AM MARCH 2ND.

# NOTICE OF PUBLIC HEARING

## **TOPIC: FY26 CDBG Grant; Application for Proposed Waterlines Improvements Project.**

The **City of Bethany** will hold a public hearing on the Community Development Block Grant closeout.

The hearing is scheduled on **March 17, 2026** at **6:30 p.m.** at the Bethany City Hall located at 6700 NW 36<sup>th</sup> St. Bethany, Oklahoma. The public hearing will be conducted to announce the FY26 CDBG application on the proposed waterline improvements located along Willow Ave from NW 32<sup>nd</sup> to NW 34<sup>th</sup> Street.

Program accomplishments will be discussed with citizens providing the opportunity to ask questions and make input to the program.

All interested citizens are invited to attend this hearing.

Posted at (3 public locations and their addresses):

- 1) Bethany City Hall: 6700 NW 36<sup>th</sup>; Bethany, OK 73008
- 2) Bethany Court: 6714 NW 36<sup>th</sup>, Bethany, OK 73008
- 3) Bethany Public Library: 6700 NW 35<sup>th</sup>, Bethany, OK 73008

Posted by:



Michael Vaughn, City Clerk (signature)

Date Posted:

2/26/2026



**CITY OF BETHANY**

**From:** Elizabeth A. Gray, City Manager  
**Date:** March 12, 2026  
**Subject:** Consideration and Possible Action Approving a Citizen Participation Plan for the FY-2026 Community Development Block Grant (CDBG) through the Department of Commerce for Proposed Waterline Improvements Project

**BACKGROUND**

The City of Bethany is eligible for a CDBG Grant in the amount of \$342,500.00. This is a 50-50 matching grant. This grant can be used as funding for needed waterline improvements in a low to moderate income area within Bethany. Staff has completed an income survey, and a location has been identified.

One of the requirements for the CDBG program is for the City Council to adopt a citizens participation plan. Please see the attached plan.

**RECOMMENDATION**

1. Approve the Citizen Participation Plan as presented and authorize the Mayor to sign the document on behalf of the City.

**ADDITIONAL COMMENTS**

A circular stamp containing the handwritten initials 'dg' in blue ink.

# Community Development Block Grant 2026 CDBG Small Cities Grant

## CITY OF BETHANY CITIZEN PARTICIPATION PLAN

**The City of Bethany** intends to implement a citizen participation program for its 2026 application process to accomplish the following objectives:

Provide for and encourage citizen participation, particularly by low and moderate income persons who reside in areas where CDBG funds are proposed to be used.

This will be accomplished by:

1. Providing frequent and timely public notice of CDBG program activities in the local newspaper or by posting at City Hall.
2. Adopting a comprehensive CDBG Statement of Needs.
3. Conducting a Public Hearing to inform citizens of the proposed 2026 CDBG Waterline Project and authorizing the Elected Official to sign a CDBG application in a formal board meeting.

Ensure that citizens will be given reasonable and timely access to local meetings, information and records relating to proposed and actual use of funds, including, but not be limited to:

1. The amount of CDBG funds to be made available for the current fiscal year if the proposed project is approved.
2. The range of activities that may be undertaken with those funds.
3. The estimated amount of those funds proposed to be used for activities that will benefit low and moderate income persons.
4. The proposed CDBG activities likely to result in displacement and any anti-displacement and relocation plans developed by the Community in accordance with Section 104(d)(1) and (2) of the Act.
5. The basis on which **the City of Bethany** may provide technical assistance to groups representative of persons of low and moderate income that may request assistance in developing proposals. The level and type of assistance to be provided is at the discretion of the **City of Bethany** and does not necessarily include providing funding to such groups.

6. This requirement will be accomplished by discussing the CDBG proposal during regular Board meetings and in one public hearing prior to the submittal of the **City of Bethany** 2026 CDBG application. During the hearing the five (5) items listed above will be explained to the public. Records of the 2026 CDBG process will be maintained in the **City of Bethany City Hall** by the City Clerk and will be available upon request for review by the public. A brief summary of the proposed 2026 CDBG project will be available for public review after the Board has made its final selection.

Provide for a minimum of two (2) public hearings; one (1) prior to submission of the application for funding of the project for the purpose of obtaining citizen views and formulating or responding to proposals and questions, and the other at the end of the grant period if the **City of Bethany** receives funding that discusses the **City of Bethany** accomplishments in relation to initial plans. The application stage hearing will include discussion of CDBG needs and the development of activities being proposed for CDBG funding. There will be reasonable notice of all hearings, which will be scheduled for times and locations convenient to the potential and actual beneficiaries and which will accommodate the handicapped.

This requirement will be met through scheduling a Public Hearing to discuss the City of Bethany 2026 CDBG proposal. At this hearing the proposed project will be reviewed for the public and further citizen input will be solicited. Notice will be given seven (7) working days in advance of this hearing in the local newspaper or by posting at 3 public places including the Courthouse. A second hearing will be held at the end of the grant period if **City of Bethany** is funded in the 2026 CDBG process.

Meet the needs of non-English speaking residents in those instances where a significant number of non-English speaking residents can reasonably be expected to participate.

The **City of Bethany** does not currently have a significant population of non-English speaking citizens. However, every effort will be made to accommodate the needs of any non-English speaking citizens who wish to participate.

Provide citizens with reasonable advance notice of, and opportunity to comment on, proposed activities not previously described in the **City of Bethany** funding request and on activities which are proposed to be deleted or substantially changed in terms of purpose, scope, location or beneficiaries.

The proposed seven (7) working days notice for all public meetings and hearings in connection with the **City of Bethany 2026** CDBG application process is believed by the Community to afford citizens with reasonable advance notice. In addition, if any change is proposed to the purpose, scope, location, or beneficiaries of the proposed project or if the CDBG project budget changes by more than 25%, the public will be notified and afforded an opportunity for additional input.

Provide the place, telephone number and times when citizens are able to submit written complaints or grievances and the process the Community will use to provide a timely, written response to such complaints or grievances.

Citizens with comments or grievances on the 2026 CDBG process may submit them in writing or in person at the **City of Bethany, City Hall**, Office of City Clerk during regular business hours or may call (405) 789-2146. The County will respond to such comments or grievances within fifteen (15) working days, where practicable.

By formally adopting this Citizen Participation Plan, the **City of Bethany** Board accepts the responsibility for implementing its provisions. The Board of the city of Bethany further charges all employees and contractors with the responsibility of implementing this plan and living up to the spirit of the citizen participation requirements of the 2026 CDBG program.

Adopted this 17<sup>th</sup> day of **March, 2026** by the **City of Bethany**.

---

Amanda Sandoval, Mayor

**ATTEST:**

---

**Michael Vaughn, City Clerk**

(Seal)

**CITY OF BETHANY**

From: Elizabeth A. Gray, City Manager  
Date: March 12, 2026  
Subject: Consideration and Possible Action Approving a Resolution to Apply for the FY-2026 Community Development Block Grant (CDBG) through the Department of Commerce for Proposed Waterline Improvements Project

BACKGROUND

The City of Bethany is eligible for a CDBG Grant in the amount of \$342,500.00. This is a 50-50 matching grant. This grant can be used as funding for needed waterline improvements in a low to moderate income area within Bethany. Staff has completed an income survey, and a location has been identified. (please see attached map).

One of the requirements for the CDBG program is for the City Council to commit to using all its powers to facilitate the receipt of funds, provide insurance, and upon receipt of the funds to administer the grant by the appropriate rules and regulations governing the use of the money.

RECOMMENDATION

1. Approve Resolution No. 1729 as presented and authorize the mayor to sign the documents on behalf of the City.

ADDITIONAL COMMENTS

Grant match will come from the Public Works Capital Improvement Fund.



COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG)  
2026 CDBG Small Cities Grant

RESOLUTION No. 1729

**WHEREAS**, Title I of the Housing and Community Development Act of 1974, Public Law 93 383, as amended, authorized the Secretary of Housing and Urban Development, a representative of the United States of America, to grant to the State of Oklahoma funds an administrative responsibility for the “Community Revitalization Development Block Grant” program; and

**WHEREAS**, the Oklahoma Department of Commerce, pursuant to designation by the Governor as the administering agency of the Community Development Block Grant Program for Small Cities in Oklahoma, is directed to further the purposes of community development in the State, and is authorized and empowered to accept funds from the Federal Government or its agencies and to enter into such contracts and agreements as are necessary to carry out the functions of the Department; and

**WHEREAS**, the **City of Bethany** is a local unit of general purpose government that will provide opportunity for input by residents in determining an prioritizing community, development needs through its written Citizen Participation Plan; and

**NOW THEREFORE, BE IT RESOLVED** by the **Board of the City of Bethany** that the **City of Bethany** desires to obtain assistance in community development and hereby requests the Oklahoma Department of Commerce to provide assistance under the policies, regulations and procedures applicable to local communities in Oklahoma.

**NOW THEREFORE, BE IT RESOLVED**, by the **Board of the City of Bethany** that the **City of Bethany** affirms its commitment to take all action within its power to facilitate the receipt of the assistance of community development funds if the **City of Bethany** is awarded a Community Revitalization Grant, and upon receipt to administer said grant by the rules and regulations established by the United States of America, the State of Oklahoma, and all empowered agencies thereof.

ADOPTED this 17<sup>th</sup> day of March, 2026 at a **regularly** scheduled meeting of the governing body, in compliance with the Open Meeting Act, 25 O.S. §§ 301-314 (2001).

**Amanda Sandoval, Mayor**

(Type) Name and title of Chief Elected Official

\_\_\_\_\_  
Signature of Chief Elected Official

[SEAL]

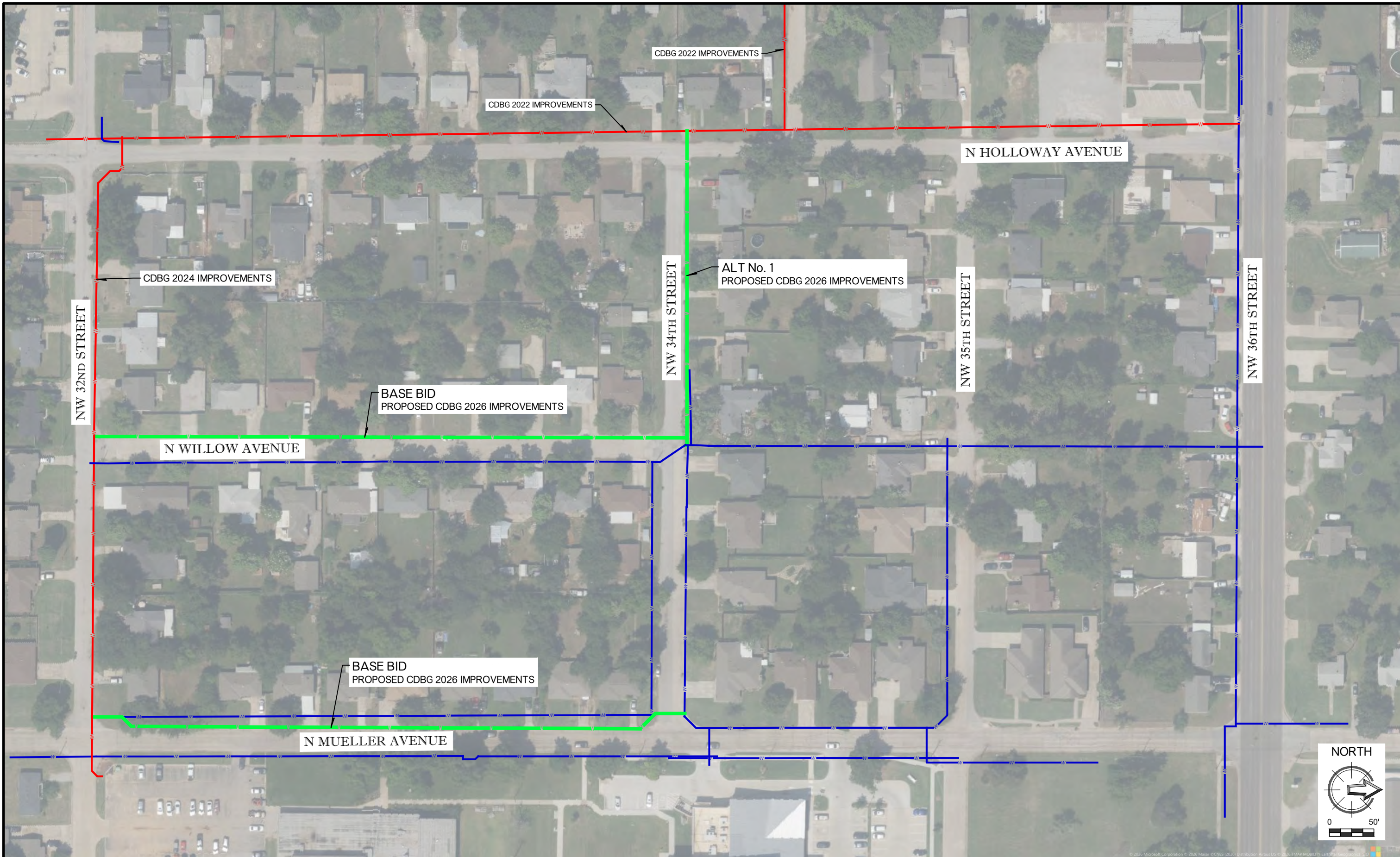
Attest:

Subscribed and sworn to before me \_\_\_\_\_, 2026. My commission

Expires \_\_\_\_\_, 202\_. Commission No. \_\_\_\_\_

\_\_\_\_\_  
Michael Vaughn, City Clerk

W:\ET\450-0\ET\424-34 - CDBG\Year 2026\Location Map.dwg, Detail, 3/11/2026 9:50:00 AM, jgibbs



REV. NO.	DATE	DRWN	CHKD	REMARKS

SCALE: AS SHOWN  
 DATE: MARCH 11th 2026  
 DRAWN BY: GIBBS  
 CHECKED BY: R. WILLIAMS



THE CITY OF BETHANY  
**CDBG SMALL CITIES SET - YEAR 2026**

CIVIL  
 PROJECT LOCATION

SHEET NO.  
**FIGURE 1**  
 SHEET 1 OF 1

## **CERTIFICATION OF INSURANCE FOR PROPOSED CDBG WATER LINE PROJECT**

All CDBG funded activities to the City of Bethany, 2026 CDBG Small Cities Grant, will be insured with property insurance coverage upon project completion if an insurable item.

Amanda Sandoval, Mayor  
Typed Name & Title of Official

---

Signature of Official

3/17/2026

Date

---

Attest: Michael Vaughn, City Clerk

(Seal)

**CITY OF BETHANY  
BETHANY PUBLIC WORKS AUTHORITY**

From: Elizabeth A. Gray, City Manager  
Date: March 12, 2026  
Subject: Consideration and Possible Action Approving a Resolution to Obligate Funds to be used as leverage for the FY-2026 Community Development Block Grant (CDBG) through the Department of Commerce for Proposed Waterline Improvements Project

BACKGROUND

The City of Bethany is eligible for a CDBG Grant in the amount of \$342,500.00. This is a 50-50 matching grant. This grant can be used as funding for needed waterline improvements in a low to moderate income area within Bethany. Staff has completed an income survey, and a location has been identified.

One of the requirements for the CDBG program is for the City Council to adopt a Resolution on leveraged funds. Please see the attached resolution.

RECOMMENDATION

1. Approve Resolution No. 1730 on leveraged funds as presented and authorize the Mayor to sign the document on behalf of the City.

ADDITIONAL COMMENTS

Grant match will come from the Public Works Capital Improvement Fund.



## RESOLUTION ON LEVERAGED FUNDS

Whereas, the City of Bethany is applying for CDBG funds from the Oklahoma Department of Commerce (ODOC); and

Whereas, the City of Bethany hereby commits leveraged funds in the FY-2026 grant application to ODOC for the Proposed Waterline Improvements Project;

Now therefore, the City of Bethany does designate the following source of leveraged funds:

<u>SOURCE</u>	<u>AMOUNT</u>
<u>City of Bethany</u>	\$ 342,500.00
<b>TOTAL</b>	<b>\$342,500.00</b>

This resolution adopted on this 17<sup>th</sup> day of March, 2026, by the City Council of the City of Bethany.

**Amanda Sandoval, Mayor**  
Typed Name and Title

\_\_\_\_\_  
Signature of Official

\_\_\_\_\_  
Attest: Michael Vaughn, City Clerk

(Seal)

**Community Development Block Grant (CDBG)  
Small Cities Program  
VERIFICATION OF LEVERAGE**

Federal/State participation, if loan, grants, etc. **Award Letters/Commitment Letters.**

Agency	Purpose	Amount	Present Status Comment

Other sources and amount of project financing include applicants' local contribution, if any. **Provide Award Letters/Commitment Letters and/or Resolution stating amount and source of Leverage.**

Agency	Purpose	Amount	Present Status Comment
City of Bethany	Administration, Engineering, & Construction	\$342,500.00	Approved by Resolution by The City of Bethany.

**Note: Leverage information will be verified**

\_\_\_\_\_  
Chief Elected Official Signature

Date 3/17/2026

**Community Revitalization Grant  
2026 Water Line Project**

**ESTIMATING THE VALUE OF SERVICES (IN-KIND LABOR FROM OTHER LOCAL ENTITIES)**

CDBG Applicant: City of Bethany

**ATTACHMENT E3**

<b>Local Entity Providing In-Kind Labor</b>	<b>Hourly Rate</b> (If on monthly salary, divide salary by 172 hours)	<b>Social Security</b> (Multiply the hourly rate by .0765)	<b>Worker's Comp</b> (If paid monthly divide amount paid by 172 hours)	<b>Insurance Benefits</b> (Health, Life, or accident insurance, if paid monthly divide amount paid by 172 hours)	<b>Retirement</b> (calculate cost of retirement benefit per hour)	<b>TOTAL HOURLY RATE</b>	<b>ESTIMATED TOTAL HOURS WORKED</b>	<b>ESTIMATED TOTAL DOLLAR AMOUNT</b>
N/A								
<b>TOTAL</b>								

**ESTIMATING THE VALUE OF SUPPLIES**

<b>Entity Providing Supplies</b>	<b>Type of Supplies to be Provided</b>	<b>Value of Supplies to be Provided</b>	<b>ESTIMATED TOTAL VALUE</b>
N/A			
<b>TOTAL</b>			

**\*Note: Penalties such as deobligation of grant, reduction of grant amount, or other measures deemed appropriate by ODOC/CD may be assessed for in-kind (from other local entities) and/or supplies contributions not materializing.**

Chief Elected Official: \_\_\_\_\_

Date: March 17, 2026

**Community Revitalization Grant  
2026 Water Line Project**

**ESTIMATING THE VALUE OF SERVICES (IN-KIND LABOR FROM OTHER LOCAL ENTITIES)**

CDBG Applicant: City of Bethany

**ATTACHMENT E3**

<b>Local Entity Providing In-Kind Labor</b>	<b>Hourly Rate</b> (If on monthly salary, divide salary by 172 hours)	<b>Social Security</b> (Multiply the hourly rate by .0765)	<b>Worker's Comp</b> (If paid monthly divide amount paid by 172 hours)	<b>Insurance Benefits</b> (Health, Life, or accident insurance, if paid monthly divide amount paid by 172 hours)	<b>Retirement</b> (calculate cost of retirement benefit per hour)	<b>TOTAL HOURLY RATE</b>	<b>ESTIMATED TOTAL HOURS WORKED</b>	<b>ESTIMATED TOTAL DOLLAR AMOUNT</b>
N/A								
<b>TOTAL</b>								

**ESTIMATING THE VALUE OF SUPPLIES**

<b>Entity Providing Supplies</b>	<b>Type of Supplies to be Provided</b>	<b>Value of Supplies to be Provided</b>	<b>ESTIMATED TOTAL VALUE</b>
N/A			
<b>TOTAL</b>			

**\*Note: Penalties such as deobligation of grant, reduction of grant amount, or other measures deemed appropriate by ODOC/CD may be assessed for in-kind (from other local entities) and/or supplies contributions not materializing.**

Chief Elected Official: \_\_\_\_\_

Date: March 17, 2026

**CITY OF BETHANY**

**From:** Elizabeth A. Gray, City Manager  
**Date:** March 12, 2026  
**Subject:** Consideration and Possible Action Approving Section 3 Plan for the FY-2026 Community Development Block Grant (CDBG) through the Department of Commerce for Proposed Waterline Improvements Project

**BACKGROUND**

The City of Bethany is eligible for a CDBG Grant in the amount of \$342,500.00. This is a 50-50 matching grant. This grant can be used as funding for needed waterline improvements in a low to moderate income area within Bethany. Staff has completed an income survey, and a location has been identified.

One of the requirements for the CDBG program is for the City Council to adopt the Section 3 Plan. Please see the attached plan.

**RECOMMENDATION**

1. Approve Resolution No. 1731 adopting the Section 3 Plan as presented and authorize the Mayor to sign the document on behalf of the City.

**ADDITIONAL COMMENTS**

A circular stamp containing the handwritten initials "dg" in blue ink.

RESOLUTION # 1731

SECTION 3 PLAN RESOLUTION

City of Bethany

WHEREAS, the City of Bethany has been applied for a contract from the Oklahoma Department of Commerce, Community Development Block Grant as **FY- 26 CDBG Waterline Improvements Project**. The City of Bethany is required by the Oklahoma Department of Commerce and Section 3 of the Housing and Urban Development Act of 1968 to adopt a Section 3 Plan; and

WHEREAS, the Section 3 Plan is intended to ensure, to the greatest extent feasible, that training and employment opportunities generated by the U.S. Department of Housing and Urban Development projects be given to low-income residents of the Section 3 project area and that contracts for work in connection with this project be awarded to qualified Section 3 Business Concerns.

WHEREAS, it is the intention of the City of Bethany to implement its Community Development Block Grant project activities in accordance with all program regulations including the said Section 3 requirements.

NOW, THEREFORE, BE IT RESOLVED that the City of Bethany adopts the Community Development Block Grant Section 3 Plan, which is attached hereto as "Attachment A" and made a part hereof.

ADOPTED this the 17<sup>th</sup> day of March, 2026.

City of Bethany

ATTEST:

BY: \_\_\_\_\_  
Amanda Sandoval, Mayor

BY: \_\_\_\_\_  
Michael Vaughn, City Clerk

**“Attachment A”**  
**SUB-RECIPIENT SECTION 3 PLAN**

The City of Bethany agrees to implement affirmative steps to comply with the Section 3 requirements set forth at 24 CFR 75 directed at increasing the utilization of lower income residents and businesses within project site.

- |    |   |
|----|---|
| A. | To implement Section 3 requirements by determining the exact boundaries of the applicable project area.   |
| B. | To attempt to recruit from within the <u>City of Bethany</u> lower income residents by posting a notification of project advertisement, signs placed at the proposed site for the project, and informing related community agencies operating within or serving the project area. |
| C. | To maintain a list of all lower income residents who have applied either on their own or on referral from any source, and to employ such persons, if otherwise eligible and if a vacancy exists   |
| D. | To insert this Section 3 plan in all bid documents, and to require all bidders to submit a Section 3 affirmative action plan including utilization goals and the specific steps planned to accomplish these goals   |
| E. | To ensure that all appropriate project area business concerns are notified of pending sub-contractual opportunities   |
| F. | To maintain records, including copies of correspondence, memoranda, etc., which document that all the above affirmative action steps have been taken.   |
| G. | To appoint or recruit an executive official as Equal Opportunity Officer (EOO) to coordinate the implementation of this Section 3 plan  |
| H. | To require Contractors to list all current workforce for this project by job title  |
| I. | To require Contractors to list all projected workforce needs for this project by job classification and time frame for potential hire.  |

The City of Bethany fully agrees to the above and is committed to the full implementation of this program.

Amanda Sandoval, Mayor  
*Chief Elected Official*

3/17/2026  
*Date*

\_\_\_\_\_  
*Signature*

**CITY OF BETHANY**

**From:** Elizabeth A. Gray, City Manager  
**Date:** March 12, 2026  
**Subject:** Consideration and Possible Action Approving a Residential Anti-displacement and Relocation Assistance Plan for the FY-2026 Community Development Block Grant (CDBG) through the Department of Commerce for Proposed Waterline Improvements Project

BACKGROUND

The City of Bethany is eligible for a CDBG Grant in the amount of \$342,000. This is a 50-50 matching grant. This grant can be used as funding for needed waterline improvements in a low to moderate income area within Bethany. An income survey has been conducted, and a location has been selected.

One of the requirements for the CDBG program is for the City Council to adopt a Residential Anti-displacement and Relocation Assistance Plan whereby if displacement of low/moderate income households occurs in conjunction with the activities funded with CDBG funds, the City of Bethany will provide relocation assistance. No displacement is anticipated with the waterline replacement project.

RECOMMENDATION

1. Approve the Residential Anti-displacement and Relocation Assistance Plan as presented and authorize the Mayor to sign the document on behalf of the City.



ADDITIONAL COMMENTS

# RESIDENTIAL ANTIDISPLACEMENT AND RELOCATION ASSISTANCE PLAN

The City of Bethany undertake community development activities (2026 CDBG Waterline Improvements Project) funded through the Oklahoma Department of Commerce CDBG Grant program. No demolition or conversion of low/moderate-income dwelling units is anticipated by the City of Bethany in conjunction with the activities assisted with these funds. Under Section 104 (d) of the housing and Community Development Act of 1974, as Amended, if such demolition or conversion unexpected occurs, before obligating or expending funds that will directly result in such demolition or conversion, the City of Bethany will make public and submit to the Oklahoma Department of Commerce the following information in writing:

A description of the proposed assisted activity;

1. The location on a map and number of dwelling units by size (number of bedrooms) that will be demolished or converted to a use other than as low/moderate-income dwelling units as a direct result of the assisted activity;
2. A time schedule for commencement and completion of the demolition or conversion;
3. The location on a map and number of dwelling units by size (number of bedrooms) that will be provided as replacement dwelling units;
4. The source of funding and a time schedule for the provision of replacement dwelling units; and
5. The basis for concluding that each replacement dwelling unit will remain a low/moderate-income dwelling unit for at least 10 years from the date of initial occupancy;
6. Information demonstrating that any proposed replacement of dwelling units with smaller dwelling units in consistent with the housing needs of units is consistent with the housing needs of low/moderate-income household in the jurisdiction.

If displacement of low/moderate-income households occurs in conjunction with the activities funded with CDBG funds, the City of Bethany will provide relocation assistance, as described in 570.496(b)(2) to each low/moderate-income household displaced by the demolition of housing or by the conversion of a low/moderate-income dwelling to another use as direct result of assisted activities.

City of Bethany

By: \_\_\_\_\_  
**Amanda Sandoval, Mayor**

Date: March 17, 2026

**ATTEST**

\_\_\_\_\_  
**Michael Vaughn, City Clerk**

( Seal)

# FAIR HOUSING

\* \* \* \* \*

## PROCLAMATION

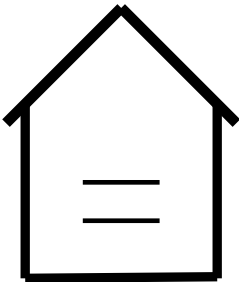
Pursuant to the authority granted to me as Mayor of the City of Bethany, I do hereby proclaim that the City of Bethany supports and encourages FAIR HOUSING practices. Further, I decree that the City of Bethany affirms to follow the concepts, practices and intent embodied by the Federal, State, and Local laws in regard to Fair Housing.

The Fair Housing Act prohibits discrimination in housing because of race or color, national origin, religion, sex, familial status, sexual orientation, gender identity, handicap, or any other Federally declared characteristic. The City of Bethany encourages each citizen, agency, lender, or real estate business planning housing promotions or activities to implement the provisions of the Fair Housing Act.

---

Amanda Sandoval, Mayor

\* \* \* \* \*



Equal Housing  
Opportunity

# 2026

**FAIR HOUSING RESOLUTION # 1732**

LET IT BE KNOWN TO ALL PERSONS OF the City of Bethany that discrimination in the sale, rental, leasing, financing of housing or land to be used for construction of housing or in the provision of brokerage services because of race, color, religion, sex, national origin, disability, familial status, sexual orientation, gender identity, or any other characteristic protected by Federal Law, is prohibited by Title VIII of the 1968 Civil Right Act (Federal Fair Housing Law).

It is the policy of the City of Bethany to implement programs to ensure equal opportunity in housing for all persons regardless of race, color, religion, sex, national origin, disability, familial status, sexual orientation, gender identity, or any other characteristic protected by Federal Law. The Fair Housing Amendments Act of 1988 expands coverage to include disabled persons and families with children. Therefore, the City of Bethany does hereby pass the following Resolution.

BE IT RESOLVED that within available resources the City of Bethany will assist all persons who feel they have been discriminated against because of race, color, religion, sex, national origin, disability, familial status, sexual orientation, gender identity, or any other characteristic protected by Federal Law, to seek equity under federal and state laws by filing a complaint with the U. S. Department of Housing and Urban Development, Office of Fair Housing and Equal Opportunity, Compliance Division.

BE IT FURTHER RESOLVED that the City of Bethany shall make public this Resolution and through this public posting shall encourage owners of real estate, developers, and builders to become aware of their respective responsibilities and rights under the Federal Fair Housing Law and amendments and any applicable state or local laws or ordinances.

SAID PROGRAM will at a minimum include: 1) printing and making public of this policy and other applicable fair housing information through local media and/or community contacts; and 2) distribution of posters, flyers and any other means that will bring to the attention of those affected, the knowledge of their respective responsibilities and rights concerning equal opportunity in housing.

EFFECTIVE DATE:

This Resolution shall take effect this 17<sup>th</sup> day of March, 2026.

\_\_\_\_\_  
Amanda Sandoval, Mayor

ATTEST:

\_\_\_\_\_  
Michael Vaughn, City Clerk

(Seal)

# City of Bethany

## Proclamation

### Office of the Mayor

**WHEREAS**, autism affects an estimated 1 in 36 children and 1 in 45 adults and affects each person differently, resulting in unique strengths and challenges; and

**WHEREAS**, autism can cause challenges with verbal and nonverbal communication, social interaction, and repetitive behaviors, and can affect anyone, regardless of age, race, ethnicity, gender, or socioeconomic background; and

**WHEREAS**, autism is often accompanied by medical conditions that impact quality of life; and

**WHEREAS**, a comprehensive, collaborative approach will help to advance research, providing a better understanding of autism spectrum disorder while strengthening advocacy efforts and ensuring access to services and resources throughout the life span; and

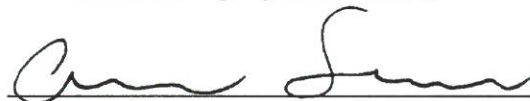
**WHEREAS**, early diagnosis and intervention tailored to individual needs can have lifelong benefits, easing the transition to adulthood and fostering greater independence; and,

**WHEREAS**, each person and family affected by autism should have access to reliable information, support, and opportunities to live up to their greatest potential; and,

**WHEREAS**, the City of Bethany is honored to take part in the annual observance of Autism Awareness Month & Acceptance Month to address the diverse needs of individuals and families.

**NOW, THEREFORE, I**, Amanda Sandoval, Mayor of Bethany, Oklahoma, do hereby proclaim **APRIL 2026** as "**AUTISM AWARENESS & ACCEPTANCE MONTH**" in the City of Bethany, Oklahoma to increase understanding and acceptance of people with autism spectrum disorder.

*Given under my hand and the Seal of the City of Bethany, Oklahoma  
this 17th day of March, 2026.*

  
\_\_\_\_\_  
Mayor

Attest:

  
\_\_\_\_\_  
City Clerk



**CITY OF BETHANY  
BETHANY PUBLIC WORKS AUTHORITY**

From: Elizabeth A. Gray, City Manager  
Date: March 12, 2026  
Subject: Sewer Emergency located on NW 55<sup>th</sup> Street from Rockwell to Mueller

BACKGROUND

On March 2, 2026, the City Manager notified the Council of an emergency for a sewer line repair for approximately 110 feet of collapsed sewer line on NW 55th Street from Rockwell Avenue to Mueller Avenue.

Staff utilized the on-call emergency contract with Krapff Reynolds and secured the services to perform the emergency repair. The repair is estimated to cost \$63,000. If you have questions.

RECOMMENDATION

1. Staff recommends ratifying expenditures to Krapff Reynolds Construction Company for emergency sewer repairs located on Mueller Avenue at NW 40th Street for the amount of \$63,000.00.

ADDITIONAL COMMENTS

The funding source is account 056-512.2-342 Sewer Line Maintenance. This will leave a \$55,967.00 balance in this account.



**CITY OF BETHANY**

From: Elizabeth Gray, City Manager  
Date: March 12, 2026  
Subject: Agreement with YMCA to manage municipal pool for 2026 Season

BACKGROUND

Under this agreement the YMCA will hire, train, schedule and provide adult supervision at the pool daily. They will assume all costs for staffing and provide concessions. They will also conduct daily water testing of the pool and weekly vacuuming. The YMCA is asking for financial reimbursement from the City to cover projected financial losses of up to \$20,000 from their payroll and concession purchase costs that are not covered by the gate admissions and concession sales. The YMCA will retain the admissions and concession incomes. The City will retain all other costs of operation. The YMCA anticipates opening the pool on May 23, 2026. Regular hours for open swimming will be Tuesday through Sunday from 1pm to 7 pm.

RECOMMENDATION

1. Staff recommends approval of the contractual agreement between the City of Bethany and the YMCA to provide staffing and management services for municipal pool operations.

ADDITIONAL COMMENTS

Funding for this contract comes from the General Fund.

A circular stamp containing the handwritten initials "dg" in blue ink.

**CONTRACT PROPOSAL**  
**CONTRACT BETWEEN THE CITY OF BETHANY AND THE YMCA OF GREATER OKLAHOMA CITY,**  
**BETHANY YMCA, FOR OPERATION OF THE MUNICIPAL SWIMMING POOL 2026 SEASON**

The YMCA will hire certified lifeguards and pool coordinator to properly manage Ripper Park, Bethany City Pool for the recreational swimming for the summer of 2026. All lifeguards are to be YMCA certified or equivalent. When the coordinator is not on site, a YMCA employee will be named to be in charge.

The Bethany City Parks and Recreation Department will have the pool operational by Saturday, May 16, 2026 unless outstanding issues are present, to ensure adequate YMCA staff training time. Inclusive dates shall be from Saturday, May 23, 2026, through Sunday, September 6, 2026 for recreational swim purposes. The Bethany YMCA will have the pool closed on May 25, 2026 for Memorial Day and July 4, 2026 for Independence Day. The Pool will also be closed on all Monday's for the duration of the Summer 2026 season. These hours will be subject to change if necessary, for reasonable cause. The pool will also be open on Friday May 22<sup>nd</sup>, 2026 for a free pool opening event open to the public.

From Saturday, May 23, 2026 to Sunday, August 9, 2026 the pool will open for public swimming Tuesday through Sunday from 1:00 pm to 7:00 pm. From Tuesday, August 11, 2026 to Sunday, September 6, 2026, the pool will open for public swimming Saturdays and Sundays only from 1:00 pm to 7:00 pm. These hours will be subject to change if necessary, for reasonable cause.

The YMCA will implement safety breaks during the last 15 minutes of every hour. During these safety breaks, no swimming will be allowed. This policy is in place to ensure the safety and well-being of staff, members, and guests.

The YMCA will be allowed to use the pool during all hours of operation for swim lessons and/or other purposes. The pool shall be closed to the public after 10:00 p.m. Only YMCA employees will be allowed in the pool area after 10:00 p.m. for cleaning purposes.

A fee of no more than \$5.00 will be charged for each non-YMCA member who comes to the pool to swim. A hand stamp or similar procedure will be used to enable the person(s) to leave the pool and return in the same day without being charged again. This fee shall be subject to change by the YMCA as it deems necessary to raise additional revenue during the summer to meet expenses, subject to the concurrence of the City of Bethany.

The YMCA shall be granted exclusive use prior to the scheduled public recreation open swim times and following the 7:00pm (subject to change as needed) closing time for aquatic programming, Monday through Sunday. Exception to this will be to allow the City of Bethany CPO Staff Member access to test and properly treat the pool from 7:00 am to 9:00 am and 11:45 am to 1:00 pm. During these times no one is allowed in the pool.

The YMCA will allow and schedule time for organizations, special groups, and special activities.

The YMCA may schedule groups in the pool for late evening classes or parties (prior to 10:00 pm). YMCA lifeguards must be on duty when these groups use the pool.

The YMCA may collect a reasonable pool rental fee from groups reserving the pool.

In exchange for the services provided by YMCA, the City of Bethany will:

- Pay the YMCA \$20,000.
- Provide Chemicals, pool supplies (Ring buoys, back boards, rescue tubes and any other safety device required) and pool equipment needed to operate the pool during the 2026 summer season.
- Provide a City Employee with current CPO license
- Provide Pool repairs and setting up weekly vacuuming
- Provide Pool Water Maintenance
- Provide Mowing
- Perform Inspection of the pool at least once per week for compliance
- Provide All toiletries and other normal cleaning supplies.

The YMCA will be responsible for:

- Cleaning - Pool must be vacuumed a minimum of once per week, with the City of Bethany staff assistance, or more as needed. Restrooms shall be cleaned daily before anyone is allowed to use the pool and checked every two hours while the pool is open for cleanliness and supplies. Deck area and gutters shall be cleaned daily. Toilet paper holders must stay stocked.
- Daily routine testing of CL2 and PH and also check for the covers on the drains twice per day at 3:00 pm and 7:00 pm. Testing will be logged on the Ripper Park Pool County Health Report after each check.
- Closing of the pool if at any time the water does not meet Health Department standards or when weather dictates and will be willing to work with the City of Bethany with regards to weather closing.
- Notify the City of Bethany Park Department before running out of any supplies or chemicals including:
  - Chlorine, caustic soda, test kits etc. to test in a 5-day minimum.

The City of Bethany shall provide trash pickup weekly, all trash shall be bagged and tops tied securely. The YMCA will provide litter pick-up in and around the pool area to assure a clean and neat facility.

The YMCA has insurance coverage under its policy for liability/medical coverage, in the event such protection becomes necessary during the YMCA's operation of the pool during the 2025 season. The YMCA shall provide the City of Bethany a Certificate of Insurance and the City shall be listed as an additional insured.

Due to the hazards related to pool chemicals, City of Bethany employees will add chemicals to the pool as needed due to their familiarity with the pool itself. The YMCA will comply with all safety requirements set forth by the City of Bethany, Oklahoma Departments of Labor and Health and OSHA including employee training required in the Federal Code of Regulations.

The YMCA will comply with Oklahoma Department of Health Regulations Chapter 315 "Public Bathing Place Facility Standards" and Chapter 320 "Public Bathing Place Regulations".

All pool rules will be created and enforced by the YMCA of Greater Oklahoma City and its staff.

**City of Bethany General Fund**  
**Statement of Revenues and Expense**  
**Feb-26**

**AGENDA: 03/17/2026**  
**ITEM: 23 (A)**

**Revenues**

	<b>2025-2026 Annual Budget</b>	<b>February Revenues</b>	<b>Year to Date Revenue</b>	<b>Year to Date Percentage of Budget</b>	<b>Budget Remaining</b>
SALES TAX 82.5% DEDICATED	4,894,156.00	429,522.00	3,373,265.00	68.92%	1,520,891.00
USE TAX REVENUE	1,599,353.00	162,821.00	1,155,306.00	72.24%	444,047.00
HOTEL TAX REVENUE	57,113.00	1,658.00	13,966.00	24.45%	43,147.00
CABLE FRANCHISE TAX REVENUE	94,472.00	0.00	66,222.00	70.10%	28,250.00
PHONE FRANCHISE TAX REVENUE	7,820.00	1,905.00	5,092.00	65.12%	2,728.00
UTILITY FRANCHISE TAX REVENUE	686,207.00	56,688.00	503,105.00	73.32%	183,102.00
OCCUPATIONAL LICENSE REVENUE	37,821.00	2,185.00	27,538.00	72.81%	10,283.00
BUILDING PERMIT REVENUE	30,559.00	1,734.00	24,296.00	79.51%	6,263.00
INSPECTION PERMIT REVENUE	35,581.00	3,724.00	19,946.00	56.06%	15,635.00
ZONING PERMITS	1,043.00	925.00	925.00	88.69%	118.00
FIRE ALARM PERMITS	0.00	40.00	40.00	0.00%	-40.00
ANIMAL LICENSE REVENUE	0.00	140.00	1,455.00	0.00%	-1,455.00
ABATEMENT REVENUE	0.00	448.00	5,042.00	0.00%	-5,042.00
MOTOR FUEL TAX REVENUE	48,065.00	0.00	12,762.00	26.55%	35,303.00
COMMERCIAL VEH TAX REVENUE	131,772.00	13,101.00	79,737.00	60.51%	52,035.00
CIGARETTE TAX REVENUE	14,508.00	2,692.00	21,812.00	150.34%	-7,304.00
ALCOHOL BEVERAGE TAX REVENUE	50,669.00	4,457.00	38,050.00	75.10%	12,619.00
ACCOUNTING SERVICE REVENUE	39,600.00	2,200.00	17,600.00	44.44%	22,000.00
EMERGENCY MEDICAL CALL SVC FEE	280,831.00	23,694.00	189,242.00	67.39%	91,589.00
STORMWATER COMPLIANCE FEE	324,218.00	27,363.00	218,926.00	67.52%	105,292.00
CEMETARY LOT SALES REVENUE	0.00	0.00	25.00	0.00%	-25.00
MINERAL RIGHTS & ROYALTIES REV	12,732.00	1,585.00	13,304.00	104.49%	-572.00
POLICE FINES & COURT COST REV	683,155.00	60,514.00	389,442.00	57.01%	293,713.00
INTEREST INCOME	42,403.00	0.00	16,094.00	37.95%	26,309.00
MISCELLANEOUS REVENUE	160,716.00	23,611.00	127,889.00	79.57%	32,827.00
REIMBURSEMENT REVENUE	2,491.00	0.00	2,788.00	111.92%	-297.00
CREDIT CARD FEES	108,352.00	9,444.00	60,163.00	55.53%	48,189.00
GRANT REVENUE	4,000.00	0.00	0.00	0.00%	4,000.00
STREET CLOSURE FEES	0.00	0.00	1,745.00	0.00%	-1,745.00
SETTLEMENT PROCEEDS	0.00	0.00	0.00	0.00%	0.00
ECONOMIC DEV PROMO & EVENT RE	0.00	0.00	0.00	0.00%	0.00
OMAG REFUNDS	20,096.00	3,005.00	37,585.00	187.03%	-17,489.00
<b>Total Revenues</b>	<b>9,367,733.00</b>	<b>833,456.00</b>	<b>6,423,362.00</b>	<b>68.57%</b>	<b>2,944,371.00</b>
<b>Transfers In</b>	<b>2,825,000.00</b>	<b>216,667.00</b>	<b>1,737,350.00</b>	<b>61.50%</b>	<b>1,087,650.00</b>
<b>Total Revenues and Transfers In</b>	<b>12,192,733.00</b>	<b>1,050,123.00</b>	<b>8,160,712.00</b>	<b>66.93%</b>	<b>4,032,021.00</b>

**Expenses**

	<b>2025-2026 Annual Budget</b>	<b>February Expenses</b>	<b>Year to Date Expenses</b>	<b>Year to Date Percentage of Budget</b>	<b>Budget Remaining</b>
01.0-MANAGEMENT	999,798.00	67,421.00	625,615.00	62.57%	374,183.00
02.0-FINANCE	438,258.00	33,101.00	227,131.00	51.83%	211,127.00
03.0-MUNICIPAL COURT	575,617.00	40,934.00	333,631.00	57.96%	241,986.00
04.0-ENGINEERING	200,000.00	16,299.00	57,569.00	28.78%	142,431.00
05.0-POLICE	5,309,879.00	401,940.00	3,368,493.00	63.44%	1,941,386.00
06.0-FIRE	3,157,030.00	241,145.00	2,061,780.00	65.31%	1,095,250.00
07.0-COMMUNITY DEV	674,200.00	40,704.00	402,133.00	59.65%	272,067.00
08.1-PW ADMIN	176,440.00	12,701.00	112,731.00	63.89%	63,709.00
08.2-STREETS	842,952.00	59,838.00	507,188.00	60.17%	335,764.00
08.4-FLEET MAINT	102,346.00	7,973.00	54,121.00	52.88%	48,225.00
08.5-PARKS	540,194.00	31,104.00	322,333.00	59.67%	217,861.00
98.0-CONTINGENCY	401,395.00	128,063.00	128,063.00	31.90%	273,332.00
<b>TOTAL EXPENDITURES</b>	<b>13,418,109.00</b>	<b>1,081,223.00</b>	<b>8,200,788.00</b>	<b>61.12%</b>	<b>5,217,321.00</b>
<b>Transfers Out</b>	<b>66,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00%</b>	<b>0.00</b>
<b>Total Expenses and Transfers Out</b>	<b>13,484,109.00</b>	<b>1,081,223.00</b>	<b>8,200,788.00</b>	<b>60.82%</b>	<b>5,217,321.00</b>
<b>Revenues over (under) expenses</b>	<b>-1,291,376.00</b>	<b>-31,100.00</b>	<b>-40,076.00</b>	<b>3.10%</b>	<b>-1,185,300.00</b>

**Bethany Public Works Authority**  
**Statement of Revenues and Expenses**

**Feb-26**

**Revenues**

	<b>2025-2026 Annual Budget</b>	<b>February Revenues</b>	<b>Year to Date Revenue</b>	<b>Year to Date Percentage of Budget</b>	<b>Budget Remaining</b>
RESIDENTIAL PENALTY REVENUE	174,345.00	12,429.00	128,601.00	73.76%	45,744.00
COMMERCIAL PENALTY REVENUE	38,271.00	3,573.00	23,058.00	60.25%	15,213.00
SOLID WASTE REVENUE	3,004,190.00	264,886.00	2,106,165.00	70.11%	898,025.00
WATER REVENUE	5,337,197.00	375,985.00	3,084,982.00	57.80%	2,252,215.00
WATER TAP REVENUE	5,472.00	450.00	1,800.00	32.89%	3,672.00
SEWER REVENUE	4,109,765.00	357,694.00	2,799,150.00	68.11%	1,310,615.00
SEWER TAP REVENUE	360.00	0.00	150.00	41.67%	210.00
INTEREST INCOME	340,476.00	0.00	96,091.00	28.22%	244,385.00
LEASE REVENUE	199,231.00	7,447.00	106,913.00	53.66%	92,318.00
SCRAP METAL REVENUE	0.00	640.00	2,208.00	0.00%	-2,208.00
GRANT REVENUE	0.00	0.00	0.00	0.00%	0.00
MISCELLANEOUS REVENUE	3,660.00	0.00	148,117.00	0.00%	-144,457.00
*** TOTAL REVENUE ***	13,212,967.00	1,023,104.00	8,497,235.00	64.31%	4,715,732.00
<b>Total Revenues and Transfers In</b>	13,212,967.00	1,023,104.00	8,497,235.00	64.31%	4,715,732.00

**Expenses**

	<b>2025-2026 Annual Budget</b>	<b>February Expenses</b>	<b>Year to Date Expenses</b>	<b>Year to Date Percentage of Budget</b>	<b>Budget Remaining</b>
02.0-BPWA FINANCE	660,933.00	32,328.00	334,951.00	50.68%	325,982.00
08.1-BPWA ADMIN	194,012.00	14,304.00	122,817.00	63.30%	71,195.00
08.3-BPWA SANITATION	2,215,382.00	127,930.00	1,483,739.00	66.97%	731,643.00
08.4-BPWA FLEET MAINT	82,821.00	6,295.00	49,592.00	59.88%	33,229.00
12.0-BPWA WATER PLANT	3,428,312.00	150,718.00	1,474,328.00	43.00%	1,953,984.00
12.1-BPWA WATER LINE	880,005.00	138,865.00	370,445.00	42.10%	509,560.00
12.2-BPWA SEWER LINE	2,794,274.00	206,217.00	1,808,503.00	64.72%	985,771.00
97.0-DEBT SERVICE INTEREST EXP	587,520.00	6,149.00	111,530.00	18.98%	475,990.00
98.0-CONTINGENCY	80,000.00	42,687.00	42,687.00	0.00%	37,313.00
99.0-TRANSFERS OUT	2,600,000.00	216,667.00	1,733,336.00	66.67%	866,664.00
<b>Total Expenses and Transfers Out</b>	13,523,259.00	942,160.00	7,531,928.00	55.70%	5,991,331.00
<b>DEBT SERVICE PRINCIPAL</b>	1,294,190.00	83,333.00	808,142.00	62.44%	486,048.00
<b>Revenues over (under) Expenses/Debt Service</b>	-1,604,482.00	-2,389.00	157,165.00	-9.80%	-1,761,647.00

**City of Bethany**  
**Capital Improvement Fund**  
**Feb-26**

**Revenues**

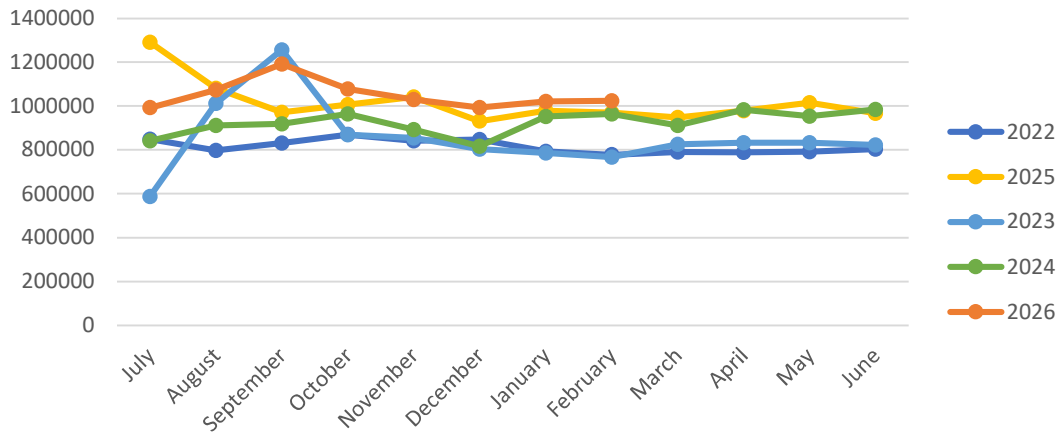
	<b>2024-2025 Annual Budget</b>	<b>February Revenue</b>	<b>Year to Date Revenue</b>	<b>Year to Date Percentage of Budget</b>	<b>Budget Remaining</b>
SALES TAX 17.5% DEDICATED	1,057,987.00	91,111.00	715,540.00	67.63%	342,447.00
INTEREST REVENUE	0.00	0.00	4,418.00	0.00%	-4,418.00
TRANSFER FROM GF	0.00	0.00	0.00	0.00%	0.00
MISCELLANEOUS REVENUE	0.00	0.00	0.00	0.00%	0.00
GRANT REVENUE	571,000.00	0.00	321,250.00	56.26%	249,750.00
<b>Total Revenue</b>	<b>1,628,987.00</b>	<b>91,111.00</b>	<b>1,041,208.00</b>	<b>63.92%</b>	<b>587,779.00</b>

**Expenses**

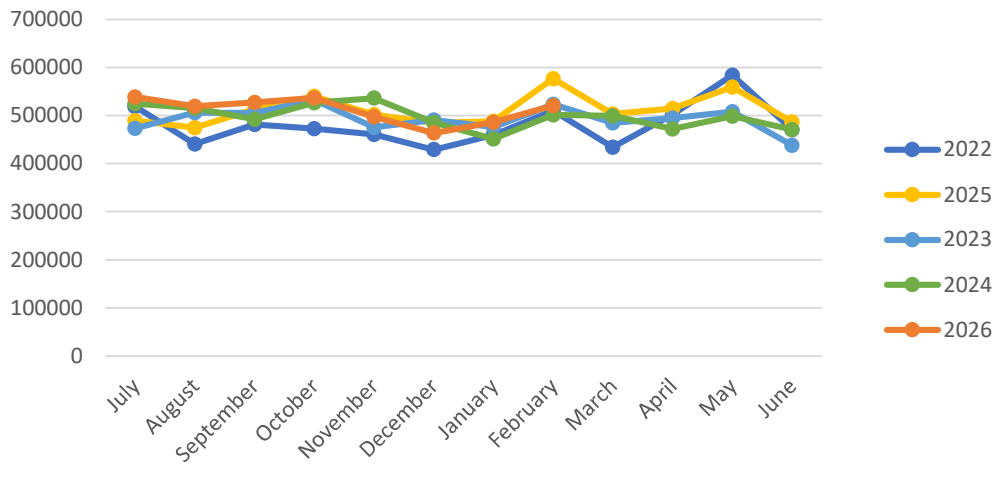
	<b>2024-2025 Annual Budget</b>	<b>February Expenses</b>	<b>Year to Date Expenses</b>	<b>Year to Date Percentage of Budget</b>	<b>Budget Remaining</b>
Capital Projects					
CDBG GRANT MATCH	372,104.00	4,000.00	302,299.00	81.24%	69,805.00
FIRE TRUCK LEASE PAYMENT	84,084.00	0.00	84,084.00	100.00%	0.00
CITY HALL HVAC REPLACEMENT	25,000.00	0.00	13,069.00	52.28%	11,931.00
25TH AND SHANNON LIFT STATION	61,646.00	0.00	27,046.00	43.87%	34,600.00
CRRSAA ROCKWELL AVE PROJ.	5,561.00	1,296.00	1,296.00	23.31%	4,265.00
STREETS DUMP TRUCK	155,000.00	0.00	0.00	0.00%	155,000.00
SEWER POP-OFF VALVE PROG.	50,000.00	0.00	0.00	0.00%	50,000.00
FIRE TRAINING CENTER	335,000.00	0.00	88,162.00	26.32%	246,838.00
STREETS SALT/SAND SPREADER	50,000.00	0.00	0.00	0.00%	50,000.00
SCADA PROJECT	357,143.00	0.00	0.00	0.00%	357,143.00
SIDEWALK PARTNERSHIP PROJ.	150,000.00	0.00	138,862.00	92.57%	11,138.00
CEMETERY FENCE	33,000.00	0.00	0.00	0.00%	33,000.00
STREETS 1/2 TON TRUCK	35,000.00	0.00	0.00	0.00%	35,000.00
PD HVAC	20,272.00	0.00	18,522.00	91.37%	1,750.00
STREETS SNOW PLOW	18,000.00	0.00	0.00	0.00%	18,000.00
MUN. COURT HVAC REPLACEMENT	20,000.00	0.00	17,891.00	89.46%	2,109.00
STREETS OVERHEAD DOOR	6,000.00	0.00	6,000.00	0.00%	0.00
ANIMAL CONTROL TRUCK	44,728.00	0.00	44,728.00	100.00%	0.00
<b>Total Capital Projects</b>	<b>1,822,538.00</b>	<b>5,296.00</b>	<b>741,959.00</b>	<b>40.71%</b>	<b>1,080,579.00</b>

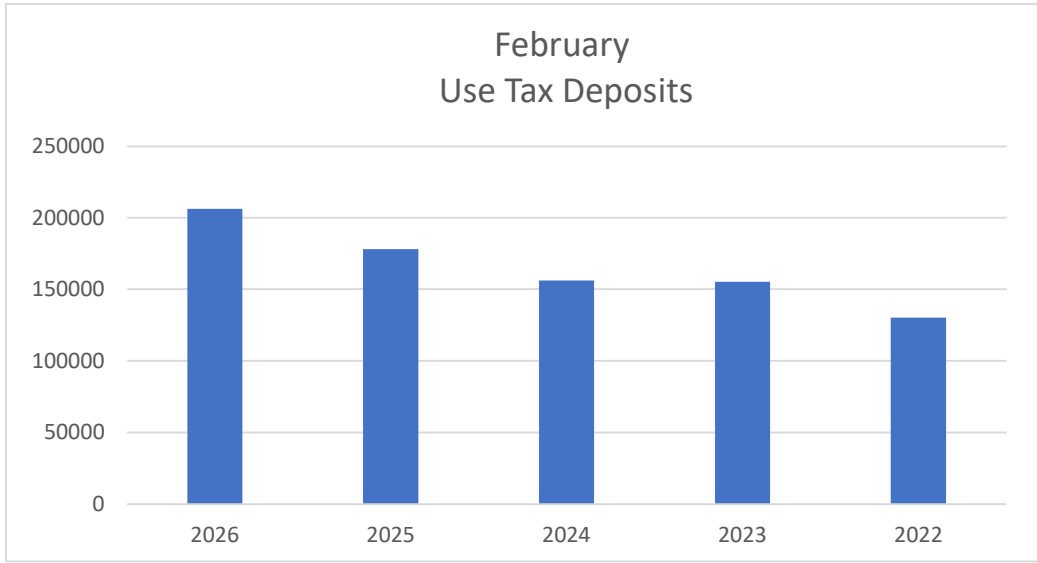
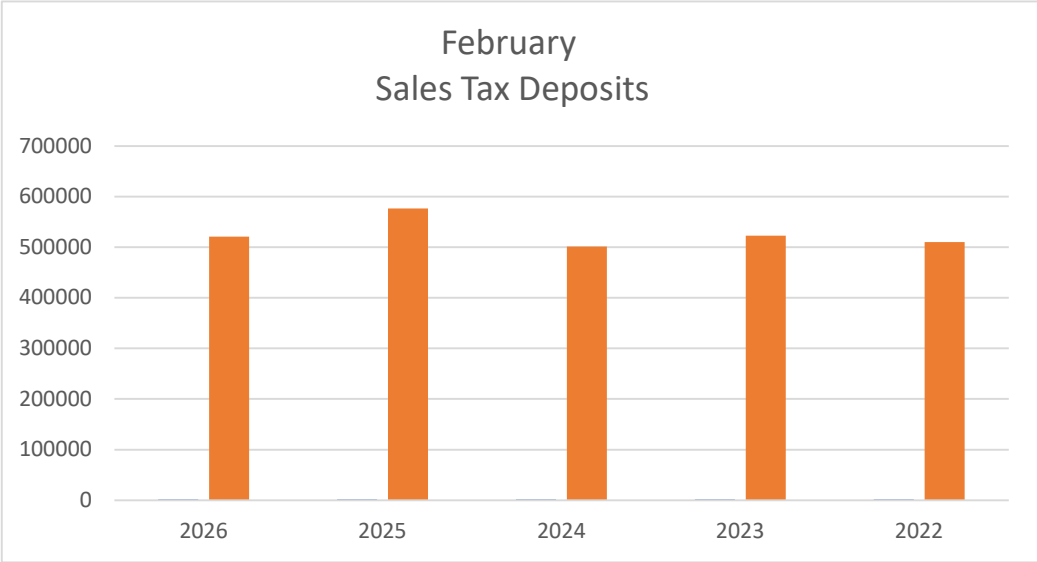
<b>Revenues Over (under) Expenses</b>	<b>-193,551.00</b>	<b>85,815.00</b>	<b>299,249.00</b>	<b>-154.61%</b>	<b>-492,800.00</b>
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### Public Works Authority Monthly Income



### Monthly Sales Tax Income





**Bethany/Warr Acres Public Works Authority  
Financial Statement Summary  
Year-To-Date for the Period Ending January 31st, 2026**

	BUDGET	ACTUAL	66.66% OF BUDGET
<b>BEGINNING FUND BALANCE</b>	<b>\$2,357,608</b>	<b>\$2,357,608</b>	
REVENUES	\$4,675,000	\$3,009,590	64.38%
EXPENDITURES	-\$3,900,561	-\$2,191,808	56.19%
<b>REVENUES OVER (UNDER) EXPENDITURES</b>	<b>\$3,132,047</b>	<b>\$3,175,390</b>	
TRANSFERS IN	\$0	\$0	
TRANSFERS OUT	\$0	\$0	
<b>NET OTHER</b>	<b>\$0</b>	<b>\$0</b>	
<b>INCREASE (DECREASE) TO BEGINNING FUND BALANCE</b>	<b>\$774,439</b>	<b>\$817,782</b>	
<b>ENDING FUND BALANCE (BEFORE BUDGETED RESERVE)</b>	<b>\$3,132,047</b>	<b>\$3,175,390</b>	
BUDGETED RESERVE	\$0	\$0	
<b>ENDING FUND BALANCE</b>	<b>\$3,132,047</b>	<b>\$3,175,390</b>	
<b>ENDING BALANCE AS A PERCENTAGE OF ANNUAL REVENUES</b>	<b>67.00%</b>	<b>67.92%</b>	

Amount of budgetary fund balance carried over from the end of the prior year.

This % is a basic measure of where the fund should be year-to-date compared to budget.

Indicates the current budget, as adopted, plans on collecting this amount of revenues in excess of planned expenditures, thereby increasing the fund balance to an acceptable percentage by the end of the fiscal year.

This represents the amount by which fund revenues are more than expenditures prior to net transfers (subsidies) from other funds.

This indicates the fund has received revenues that are more or less than year-to-date expenditures by this amount. It is the year-to-date fund balance.

This amount is considered the fund's percentage of unappropriated (budget) and unexpended (actual) fund balance reserves.

This amount reflects the uncommitted fund balance at the end of the month. This amount should never go below \$0 per State law.

All revenues generated from gate admission, swim lessons, pool parties, concessions and all other revenue producing practices will be retained by the YMCA to cover operational expenses including, but not limited to, staff wages, staff training, and supplies.

Should it become necessary for either the YMCA or the City of Bethany to terminate this agreement, a minimum of two weeks' notice shall be given in writing by either party.

Final contract approval between the City of Bethany and the YMCA shall be subject to approval by the City of Bethany and the YMCA of Greater Oklahoma City Association Office.

In witness thereof, the parties hereto have caused this agreement to be executed this \_\_\_\_\_ day of \_\_\_\_\_ 2026.

CITY OF BETHANY

YMCA of Greater Oklahoma City

---

Amanda Sandoval, Mayor

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Mike Roark, Chief Operating Officer

ATTESTED:

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Michael Vaughn, City Clerk  
(SEAL)

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Notary  
My commission expires: \_\_\_\_\_

NOTICE: On Friday, February 27, 2026, or before 4:59 p.m., agenda was posted at City Hall, on the bulletin board in the lobby of City Hall, and on the City of Bethany website: cityofbethany.org. The City of Bethany encourages participation from all its citizens. If participation at any public meeting is not possible due to a disability, notification to the City Clerk at least 48 hours prior to the scheduled meeting is encouraged to make the necessary accommodations. The City may waive the 48-hour rule if signing is not the necessary accommodation.

## **BETHANY PUBLIC WORKS AUTHORITY MEETING**

### **BETHANY CITY HALL**

**TUESDAY, MARCH 3, 2026**

**6:30 P.M.**

<b>MEMBERS PRESENT:</b>	Amanda Sandoval Peter Plank Chris Powell Aja Triana Kathy Larsen Burt Falkner Ken Smart	Chairman Vice-Chairman Trustee Trustee Trustee Trustee Trustee
<b>MEMBERS ABSENT:</b>	Chandra Ford Brian Magirowsky	Trustee Trustee
<b>OTHERS PRESENT:</b>	Elizabeth Gray Ray Jones Michael Vaughn Lesa LaMar Frank Crawford Steve Manek Brett Crecelius (See Roster)	City Manager City Attorney City Clerk/Treasurer Deputy City Clerk Crawford & Associates TEIM Design Engineer Community Development Dir.

Chairman Sandoval called the Bethany Public Works Authority meeting to order at 8:09 P.M.

**ITEM NO. 1** on the agenda was **CONSENT DOCKET:**

- A. APPROVAL OF MINUTES FROM FEBRUARY 17, 2025, REGULAR MEETING.**
- B. APPROVAL OF CLAIMS: THESE CLAIMS HAVE BEEN FOUND TO BE IN ORDER BY STAFF AND PROPER AS TO FORM AND PROCEDURE AND ARE RECOMMENDED FOR PAYMENT. A COPY OF THE CLAIMS LIST IS INCLUDED IN THE AGENDA PACKET.**

A motion was made by Trustee Smart, seconded by Trustee Falkner to approve the Consent Docket. Yes votes: Falkner, Plank, Larsen, Sandoval, Triana, Powell, Smart. No Votes: None. Motion approved.

**ITEM NO. 2** on the agenda was **NEW BUSINESS (AS DEFINED BY THE OKLAHOMA OPEN MEETING ACT § 311 (A) (9) AS "MATTERS NOT KNOWN ABOUT OR WHICH COULD NOT HAVE REASONABLY BEEN FORESEEN PRIOR TO THE TIME OF POSTING THE AGENDA")**.

None

**ITEM NO. 3** on the agenda was **ADJOURN UNTIL MARCH 17, 2026**.

Chairman Sandoval adjourned the Bethany Public Works Authority meeting at 8:09 P.M. until March 17, 2026.

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CHAIRMAN

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SECRETARY

## BETHANY PUBLIC WORKS AUTHORITY

**From:** Michael Vaughn, Finance Director  
**Date:** March 12, 2026  
**Subject:** Claims list for the 03/17/2026 Bethany Public Works Authority Meeting

### BETHANY PUBLIC WORKS AUTHORITY

FUND	AMOUNT
Bethany Public Works Authority	\$ 463,719.60
<b>TOTAL</b>	<b>\$ 463,719.60</b>

### ENTERPRISE-WIDE SUMMARY OF ALL CLAIMS:

FUND	AMOUNT
General Operations Fund	\$ 423,717.84
Bethany Public Works Authority	\$ 463,719.60
Bethany Hospital Trust	\$ -
Bethany Development Authority	\$ -
<b>TOTAL</b>	<b>\$ 887,437.44</b>

### RECOMMENDATION

1. Approve claims as presented.



P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: N/A		NON-DEPARTMENTAL				
26-56046	10-3436	BANCFIRST	BPWA 2013 REV NOTE	3/2026	APR 2026	85,000.00
DEPARTMENT TOTAL:						85,000.00
DEPARTMENT: 02.0		FINANCE				
26-56049	10-005321	AMAZON CAPITAL SERVICES,	INTHERMAL PAPER, STAPLERS	3/2026	0532243	120.27
26-54229	10-005702	TPS TECHNICAL PROGRAMMING	UTILITY BILL PRINTING	3/2026	123377	2,621.58
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	104.74
26-55889	10-2557	CORE & MAIN LP	ANTENNA BASE/CABLE METER	3/2026	v000026767	150.00
26-54735	10-4008	FRANCOTYP-POSTALIA INC	POSTAGE RENT/SOFTWARE	3/2026	R1107110838	15.98
DEPARTMENT TOTAL:						3,012.57
DEPARTMENT: 08.1		PUBLIC WORKS - ADMIN				
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	401.98
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	900.16
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	52.37
26-56108	10-3042	ACCURATE ENVIRONMENTAL	VOC	3/2026	IB19063	816.00
DEPARTMENT TOTAL:						2,170.51
DEPARTMENT: 08.3		PUBLIC WORKS - SANIT				
26-56042	10-005321	AMAZON CAPITAL SERVICES,	INFLOOR DRY & BOOTS	3/2026	1248241	34.24
26-56135	10-005321	AMAZON CAPITAL SERVICES,	INFLOOR DRY	3/2026	9175418	103.14
26-55707	10-005350	FORCE PERSONNEL	TEMP HELP	3/2026	86224	6,009.03
26-56038	10-006316	BLUE BEACON	SANITATION TRUCK WASH	3/2026	5121364	145.90
26-55596	10-0202	WASTE CONNECTIONS, INC	3RDQUARTERROLL-OFFS	3/2026	3761998V013	3,283.28
26-56094	10-0225	GENUINE PARTS	CRANKCASE VENT FILTER #98	3/2026	110731	488.98
26-56063	10-0572	REDDY ICE CORP	90 BAGS OF ICE	3/2026	3660136227	18.90
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	10,473.43
26-55965	10-1551	UNITED ENGINES, LLC	DX&POSSIBLEREPAIRUNIT#98	3/2026	4146335	686.71
26-56062	10-1622	WESTLAKE ACE HARDWARE	ROPE & DOOR HINGE,RAKE	3/2026	3505444	21.99
26-56084	10-1796	H.O.W. RUBBER, INC.	3 HYDRO HOSE #802	3/2026	H24823	333.40
26-56039	10-3081	PREMIER TRUCK/ATC FREIGHTLI	WHEEL STUDS LUG NUTS	3/2026	120890338	201.11
26-55595	10-4012	WASTE CONNECTIONS,INC	3RDQUATERRESIDLANDFILL	3/2026	33166E012	23,767.04
DEPARTMENT TOTAL:						45,567.15

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 08.4 PUBLIC WORKS - MAINT						
26-56061	10-005756	OVERHEAD DOOR	REPAIR FLEET DOOR	3/2026	0315757-IN	645.00
26-56068	10-005995	SYN-TECH	FUELMASTER MAINTENANCE	3/2026	330405	300.00
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	397.99
26-55857	10-2305	HOIDALE CO INC	ANNUAL COMPLIANCE TESTING	3/2026	29619	113.75
26-56120	10-2305	HOIDALE CO INC	GASKET ON DIESEL	3/2026	INV29693	116.32
DEPARTMENT TOTAL:						1,573.06
DEPARTMENT: 12.0 UTILITY - WATER PLANT						
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	514.93
26-56043	10-005321	AMAZON CAPITAL SERVICES,	IN20' PLUG RECOVERY PIPE	3/2026	4881049	1,025.87
26-56060	10-005321	AMAZON CAPITAL SERVICES,	INAIR NOZZLE	3/2026	5331439	9.99
26-56079	10-005321	AMAZON CAPITAL SERVICES,	INTOILET PAPER & MOUSE	3/2026	7899409	65.52
26-56116	10-0091	BRENNTAG SOUTHWEST	BLEACH FOR WATER PLANT	3/2026	8763.50	8,763.50
26-56063	10-0572	REDDY ICE CORP	90 BAGS OF ICE	3/2026	3660136227	18.90
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	405.95
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	5,498.55
26-56053	10-1622	WESTLAKE ACE HARDWARE	TWO COUPLER PLUGS	3/2026	3505439	21.98
26-56069	10-1622	WESTLAKE ACE HARDWARE	TIREREPAIRPLUGFOOTPUMP	3/2026	3505445	15.59
26-56105	10-2123	HOME DEPOT CREDIT SVCS	DRILL BITS	3/2026	005738/2013199	39.38
26-55370	10-3042	ACCURATE ENVIRONMENTAL	VOC & BAC T	3/2026	IB19062	700.00
26-55995	10-3919	MISSISSIPPI LIME	LIME	3/2026	CD178389	10,481.01
26-56078	10-3919	MISSISSIPPI LIME	LIME	3/2026	CD181778	10,464.29
DEPARTMENT TOTAL:						38,025.46
DEPARTMENT: 12.1 UTILITY - WATER LINE						
26-56079	10-005321	AMAZON CAPITAL SERVICES,	INTOILET PAPER & MOUSE	3/2026	7899409	38.00
26-56050	10-0225	GENUINE PARTS	UNIT #41/TRAN FILTER	3/2026	110253	19.77
26-56063	10-0572	REDDY ICE CORP	90 BAGS OF ICE	3/2026	3660136227	9.45
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	2,063.26
26-56101	10-2557	CORE & MAIN LP	2 INCH SMART WATER METER	3/2026	V000026729	3,283.80
DEPARTMENT TOTAL:						5,414.28

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 12.2		UTILITY - SEWER				
26-54502	10-005156	COX COMMUNICATIONS INC.	MNTHLY PHONE SVC.	3/2026	20260228	284.22
26-56045	10-005321	AMAZON CAPITAL SERVICES,	INSEWER CAMERA HEAD	3/2026	4883424	299.99
26-56079	10-005321	AMAZON CAPITAL SERVICES,	INTOILET PAPER & MOUSE	3/2026	7899409	37.99
26-55686	10-006228	NATIONAL TANK & EQUIPMENT	L19TH AND COLLEGE	3/2026	431939-0009	5,822.00
26-54897	10-006285	RIVER CITY HYDRAULICS, INC.	SEWER JETTER &TRAILER	3/2026	65643	79,893.56
26-56050	10-0225	GENUINE PARTS	UNIT #41/TRAN FILTER	3/2026	110253	19.77
26-56065	10-0225	GENUINE PARTS	BELTS FOR 50TH STINCOMB	3/2026	110480	115.30
26-56063	10-0572	REDDY ICE CORP	90 BAGS OF ICE	3/2026	3660136227	9.45
26-54321	10-1068	ONG	MONTHLY SVC	3/2026	20260226	536.01
26-55983	10-1085	OKLAHOMA MUNICIPAL ASSURANC	WORKER'S COMP 4TH QTR	3/2026	4TH QTR WC	366.57
26-54498	10-1785	BETHANY-WARR ACRES PWA	SEWER PROCESSING	3/2026	FEB 2026	185,255.71
26-55852	10-3434	W & W ELECTRIC MOTOR SVC	19TH AND COLLEGE	3/2026	3986	7,492.00
DEPARTMENT TOTAL:						280,132.57
DEPARTMENT: 97.0		DEBT SERVICE				
26-56046	10-3436	BANCFIRST	BPWA 2013 REV NOTE	3/2026	APR 2026	2,824.00
DEPARTMENT TOTAL:						2,824.00
FUND TOTAL:						463,719.60

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## BETHANY HOSPITAL TRUST MEETING

### BETHANY CITY HALL

TUESDAY, MARCH 3, 2026

6:30 P.M.

MEMBERS PRESENT:	Amanda Sandoval	Chairman
	Peter Plank	Vice-Chairman
	Chris Powell	Trustee
	Aja Triana	Trustee
	Kathy Larsen	Trustee
	Burt Falkner	Trustee
	Ken Smart	Trustee
MEMBERS ABSENT:	Chandra Ford	Trustee
	Brian Magirowsky	Trustee
OTHERS PRESENT:	Elizabeth Gray	City Manager
	Ray Jones	City Attorney
	Michael Vaughn	City Clerk/Treasurer
	Lesa LaMar	Deputy City Clerk
	Frank Crawford	Crawford & Associates
	Steve Manek	TEIM Design Engineer
	Brett Crecelius	Community Development Dir.
	(See Roster)	

Chairman Sandoval called the Bethany Hospital Trust meeting to order at 8:09 P.M.

**ITEM NO. 1** on the agenda was **CONSENT DOCKET**:

- A. APPROVAL OF MINUTES FROM FEBRUARY 17, 2026, REGULAR MEETING.**
- B. APPROVAL OF CLAIMS: THESE CLAIMS HAVE BEEN FOUND TO BE IN ORDER BY STAFF AND PROPER AS TO FORM AND PROCEDURE AND ARE RECOMMENDED FOR PAYMENT. A COPY OF THE CLAIMS LIST IS INCLUDED IN THE AGENDA PACKET.**

A motion was made by Vice-Chairman Plank, seconded by Trustee Falkner to approve the consent docket. Yes votes: Smart, Falkner, Plank, Larsen, Triana, Sandoval, Powell. No Votes: None. Motion approved.

**ITEM NO. 2** on the agenda was **NEW BUSINESS (AS DEFINED BY THE OKLAHOMA OPEN MEETING ACT § 311 (A) (9) AS "MATTERS NOT KNOWN ABOUT OR WHICH COULD NOT HAVE REASONABLY BEEN FORESEEN PRIOR TO THE TIME OF POSTING THE AGENDA")**.

None.

**ITEM NO. 3** on the agenda was **ADJOURN UNTIL MARCH 17, 2026**.

Chairman Sandoval adjourned the Bethany Hospital Trust meeting at 8:10 P.M. until March 17, 2026.

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CHAIRMAN

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SECRETARY

## BETHANY HOSPITAL TRUST

**From:** Michael Vaughn, Finance Director  
**Date:** March 12, 2026  
**Subject:** Claims list for the 03/17/2026 Bethany Hospital Trust Meeting

### BETHANY HOSPITAL TRUST

FUND	AMOUNT
Bethany Hospital Trust	\$ -
<b>TOTAL</b>	<b>\$ -</b>

### ENTERPRISE-WIDE SUMMARY OF ALL CLAIMS:

FUND	AMOUNT
General Operations Fund	\$ 423,717.84
Bethany Public Works Authority	\$ 463,719.60
Bethany Hospital Trust	\$ -
Bethany Development Authority	\$ -
<b>TOTAL</b>	<b>\$ 887,437.44</b>

### RECOMMENDATION

1. Approve claims as presented.



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**BETHANY DEVELOPMENT AUTHORITY**

**BETHANY CITY HALL**

**TUESDAY, MARCH 3, 2026**

**6:30 P.M.**

MEMBERS PRESENT:	Amanda Sandoval Peter Plank Chris Powell Aja Triana Kathy Larsen Burt Falkner Ken Smart	Chairman Vice-Chairman Trustee Trustee Trustee Trustee Trustee
MEMBERS ABSENT:	Chandra Ford Brian Magirowsky	Trustee Trustee
OTHERS PRESENT:	Elizabeth Gray Ray Jones Michael Vaughn Lesa LaMar Frank Crawford Steve Manek Brett Crecelius (See Roster)	City Manager City Attorney City Clerk/Treasurer Deputy City Clerk Crawford & Associates TEIM Design Engineer Community Development Dir.

Chairman Sandoval called the Bethany Development Authority meeting to order at 8:10 P.M.

**ITEM NO. 1** on the agenda was **CONSENT DOCKET:**

**A. APPROVAL OF MINUTES FROM FEBRUARY 17, 2026, REGULAR MEETING.**

- B. APPROVAL OF CLAIMS: THESE CLAIMS HAVE BEEN FOUND TO BE IN ORDER BY STAFF AND PROPER AS TO FORM AND PROCEDURE AND ARE RECOMMENDED FOR PAYMENT. A COPY OF THE CLAIMS LIST IS INCLUDED IN THE AGENDA PACKET.**

A motion was made by Vice-Chairman Plank, seconded by Trustee Triana to approve the consent docket. Yes votes: Sandoval, Plank, Larsen, Smart, Falkner, Powell, Triana. No votes: None. Motion passed.

**ITEM NO. 2** on the agenda was **NEW BUSINESS (AS DEFINED BY THE OKLAHOMA OPEN MEETING ACT § 311 (A) (9) AS "MATTERS NOT KNOWN ABOUT OR WHICH COULD NOT HAVE REASONABLY BEEN FORESEEN PRIOR TO THE TIME OF POSTING THE AGENDA")**.

None

**ITEM NO. 3** on the agenda was **ADJOURN UNTIL MARCH 17, 2026.**

Chairman Sandoval adjourned the Bethany Development Authority meeting at 8:10 P.M. until March 17, 2026.

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CHAIRMAN

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SECRETARY

## BETHANY DEVELOPMENT AUTHORITY

**From:** Michael Vaughn, Finance Director  
**Date:** March 12, 2026  
**Subject:** Claims list for the 03/17/2026 Bethany Development Authority Meeting

### BETHANY DEVELOPMENT AUTHORITY

FUND	AMOUNT
Bethany Development Authority	\$ -
<b>TOTAL</b>	<b>\$ -</b>

### ENTERPRISE-WIDE SUMMARY OF ALL CLAIMS:

FUND	AMOUNT
General Operations Fund	\$ 423,717.84
Bethany Public Works Authority	\$ 463,719.60
Bethany Hospital Trust	\$ -
Bethany Development Authority	\$ -
<b>TOTAL</b>	<b>\$ 887,437.44</b>

### RECOMMENDATION

1. Approve claims as presented.

